

Historic Area Preservation Plan
New Augusta Conservation District
(HA-28 NA)

A part of the
Comprehensive Plan for Marion County

Adopted by the Indianapolis Historic Preservation Commission

March 3, 1999

Adopted by the Metropolitan Development Commission

March 17, 1999

Prepared by:
Staff of the Indianapolis Historic Preservation Commission
In conjunction with
The New Augusta Village Association

The preparation of this plan was financed by
a Community Development Block Grant

CREDITS

Stephen Goldsmith, Mayor
City of Indianapolis

Eugene Lausch, Acting Director
Department of Metropolitan Development

City-County Council Members in 1999

Dr. Beurt R. Servaas, President

Elwood Black	Phillip Hinkle
Dr. Philip Borst	Paul Jones
Rozelle Boyd	W. Tobin McClamroch
James Bradford	Robert Massie
Maggie Brents	Mary Moriarty Adams
Bob Cockrum	Marilyn Moores
Curtis Coonrod	Cory O'Dell
Beulah Coughenour	William Schneider
Carlton Curry	Randy Shambaugh
William Dowden	Frank T. Short
Ron Franklin	David Smith
Gordon Gilmer	Steve Talley
Jeff Golc	Jody Tilford
Monroe Gray, Jr.	Susan Williams

Metropolitan Development Commission

Walt Niemczura, President
John S. Beeman
Lance Bundles
Lillian Charleston
James J. Curtis, Sr.
Gene Hendricks
Steve Schaefer
Robert Smith
Randolph Snyder

CREDITS

Indianapolis Historic Preservation Commission (IHPC) in 1999

George Geib, Ph.D., President	
Amy W. MacDonell, Vice President	Julie Davis
John Cox, Secretary	James Kienle
Anne Scheele, Treasurer	Josephine Weathers-Rogers
Bill Browne	

IHPC Staff In 1999

David L. Baker, Administrator
Sanford E. Garner, Architectural Reviewer

IHPC Office in 1999

200 East Washington Street
Suite 2060, City-County Building
Indianapolis, Indiana 46204
Phone: (317) 327-4406
Fax: (317) 327-4407

Past IHPC Staff who Assisted

George L. Gause, Jr., Architectural Reviewer
Terri L. Palladino, Preservation Assistant

New Augusta Village Association Planning Committee

Bill Bridges	Carol Katterjohn
Sue Bridges	Brett Keevil
Kathy Copenhaver	Tom Opferman
Bobbie Gibson	Mark Patty
Jay Gibson	Don Steffy-Miller
Tim Higgins	Heidi Sweet
Fran Holbrook	Connie Young

TABLE OF CONTENTS

INTRODUCTION 1

CONSERVATION AREA DELINEATION..... 3

ARCHITECTURAL AND HISTORICAL SIGNIFICANCE 7

 Historical Significance 7

 Architectural Significance 8

EXISTING CONDITIONS..... 11

 Existing Land Use 12

 Existing Zoning 14

PRESERVATION OBJECTIVES 17

RECOMMENDATIONS 19

 General Land Use and Development Recommendations 20

 Zoning Recommendations 21

 Housing Recommendations 24

 Traffic and Thoroughfare Recommendations..... 25

 Public Infrastructure Recommendations 26

ARCHITECTURAL AND DESIGN STANDARDS 27

 RENOVATION DESIGN STANDARDS 30

 Awnings and Canopies..... 30

 Doors and Door Openings..... 32

 Handicapped Access 34

 Masonry..... 36

 Non-Contributing Buildings..... 38

 Paint Colors 39

 Porches 40

 Roofs and Roof Elements..... 42

 Security Items..... 44

 Sidewalls (Commercial Buildings) 45

 Siding Materials (wood, vinyl, others)..... 46

 Storefronts 48

 Trim and Ornamentation 50

 Windows and Window Openings..... 52

 NEW CONSTRUCTION DESIGN STANDARDS..... 54

 Primary Structures..... 56

 Additions, Garages and Accessory Buildings 64

 SITE DEVELOPMENT AND LANDSCAPE STANDARDS 66

 STANDARDS FOR MOVING BUILDINGS 68

 SIGN STANDARDS 69

 PARKING LOT STANDARDS..... 70

 PUBLIC INFRASTRUCTURE STANDARDS..... 72

DEMOLITION GUIDELINES..... 73

BUILDING INVENTORY 79

LIST OF MAPS

GENERAL LOCATION 4

NEW AUGUSTA BOUNDARIES..... 5

BUILDING SIGNIFICANCE 10

EXISTING LAND USE 13

EXISTING ZONING..... 15

PROPOSED ZONING..... 23

NEW AUGUSTA ADDRESSES 79

INTRODUCTION

The community of New Augusta was founded in 1855 and represents the most significant example of nineteenth century railroad town settlement in Marion County. Similar towns have either been consumed by suburban growth of Indianapolis or have lost much of their integrity through infrastructure improvements, modifications, and additions to the remaining residential structures.

Significant to New Augusta are the number of rural outbuildings and accessory structures which remain. Pike Township's only example of a warmhouse, plus a variety of small nineteenth century barns and storage buildings reflect the semi-rural character of this community. Just as significant to the visual character of the area are the widely spaced houses, the absence of sidewalks and curbs, and the hedge boundaries defining the front yards. In addition to its historic structures, open space also defines the atmosphere of New Augusta.

Today, historic New Augusta is becoming increasingly surrounded by a variety of competing suburban land uses and new development. The City's Comprehensive Plan for Pike Township identifies New Augusta as a "Critical Area" and suggests that the area be protected by local designation. In an effort to implement the Comprehensive Plan, conservation district designation was initiated by neighborhood residents concerned about the protection of the remaining historic resources and the general historic character in the old settlement of New Augusta.

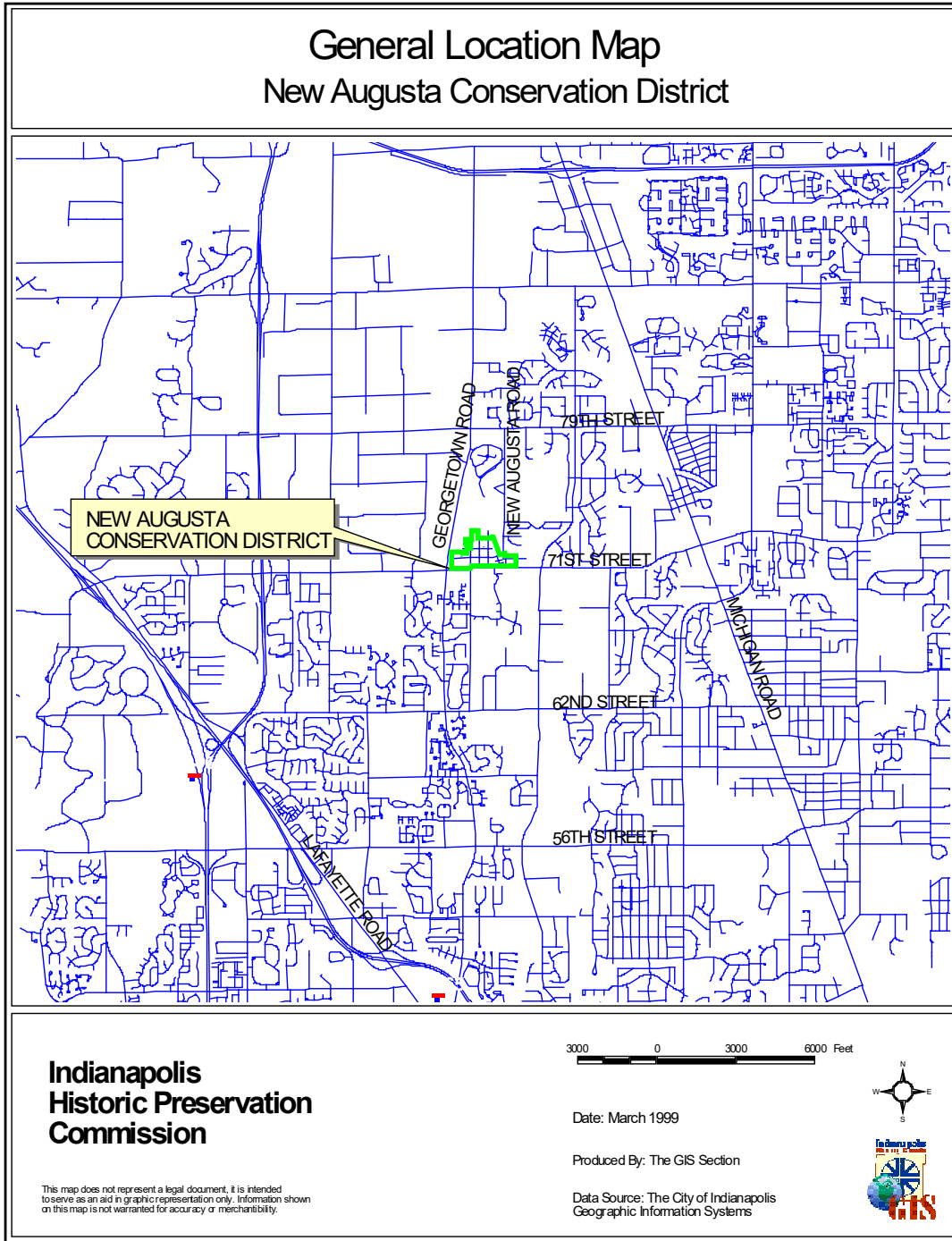
CONSERVATION AREA DELINEATION

The New Augusta Conservation District is roughly bounded by 74th Street on the north, the railroad tracks and Lyons Avenue on the east, 71st Street on the south, and a line east of Georgetown Road on the west. Boundaries for the New Augusta Conservation District were selected based upon historical significance, physical properties, the previous boundaries set forth by the National Register of Historic Places, and the residents' perception of the actual boundaries of the neighborhood.

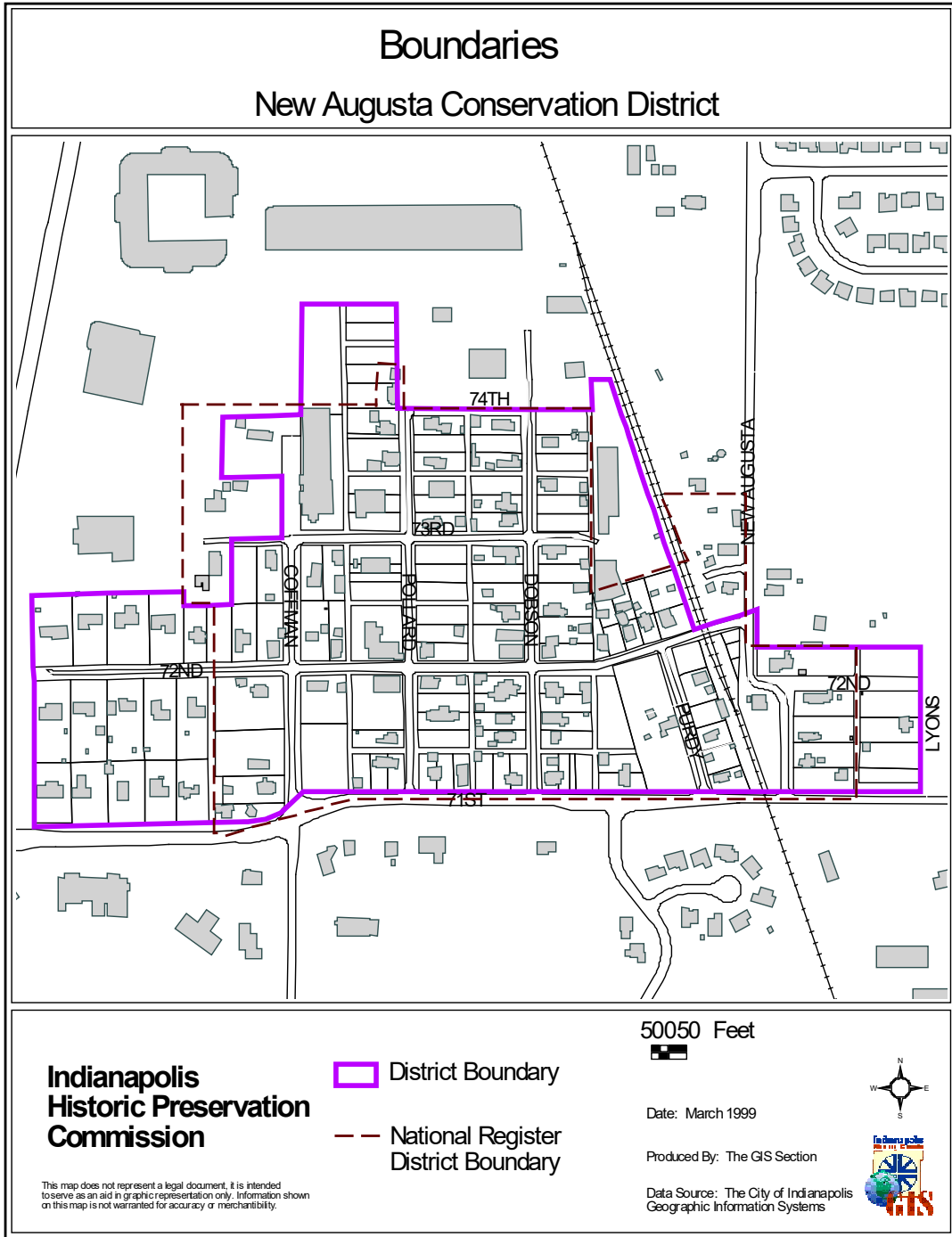
The boundary officially designated by this plan is described below and is depicted on the map on page 5.

BOUNDARY DESCRIPTION

Beginning at the southwest corner of the intersection of Lyons Avenue and West 71st Street, the boundary line proceeds westward along the northern edge of West 71st Street to a point just east of Georgetown Road at the southwest corner of the lot at 4884 West 71st Street. At this point, the boundary line proceeds north to the northwest corner of the lot at 4854 West 72nd Street. From here, the line proceeds eastward to the northeast corner of the lot at 4828 West 72nd Street. The line then proceeds south to the northwest corner of the lot at 4814 West 72nd Street and turns east toward the northwest corner of 4804 West 72nd Street. The line then proceeds north to West 73rd Street. The boundary then continues east along the south edge of West 73rd Street to Coffman Road. At its intersection with Coffman Road, the line proceeds northward along the west side of Coffman Road to the southeast corner of the lot at 7360 Coffman Road. At this corner, the line turns westward and continues to the southwest corner of the lot at 7360 Coffman Road. The line then turns northward and continues to the northwest corner of the lot at 7360 Coffman Road. From this point, the boundary proceeds eastward to the northwest corner of the lot at 4790 West 73rd Street. The line then runs northward to the northwest corner of the lot at 4790 West 73rd Street. The boundary then continues eastward along the northern edge of the lot at 7402 Pollard Street to Pollard Street. At Pollard Street, the line continues south to its intersection with West 74th Street. The line then runs east along West 74th Street to Dobson Street. The line crosses Dobson Street and continues eastward along the north edge of the lot at 7329 Dobson Street until it intersects with the property line at 4502 West 73rd Street. The line then continues north to the northwest corner of the lot at 4502 West 73rd Street and then turns east. The line continues east to the railroad tracks and then the boundary continues in a southeasterly direction along the railroad tracks to its intersection with West 72nd Street. From this point, the line continues east along West 72nd Street, across New Augusta Road. The boundary continues south to the southwest corner of the lot at 7201 New Augusta Road. The line then turns east until it intersects with the northeast corner of the parcel at 4404 West 72nd Street. At this point, the boundary continues south along the eastern edge of this lot and along the western edge of Lyons Avenue to the point of origin: the southwest corner of Lyons Avenue and West 71st Street.



GENERAL LOCATION



NEW AUGUSTA BOUNDARIES

ARCHITECTURAL AND HISTORICAL SIGNIFICANCE

HISTORICAL SIGNIFICANCE

The New Augusta Historic District is significant because it represents one of only two intact nineteenth century railroad communities remaining in Marion County. The other village, Acton, is located in Franklin Township and possesses many similar characteristics to New Augusta. Numerous Marion County towns once developed along various railroad lines; however, as a result of increasing commercial activity and the continued urban sprawl of Indianapolis, these communities have all but vanished. New Augusta exists as an outstanding representation of one of these villages. Established in 1852, the district maintains much of its integrity and small town characteristics. The period of significance extends to 1939 to include early twentieth century building activity that occurred when the area was still commercially active.

New Augusta, located in Pike Township in northwestern Marion County, lies approximately one and one-half miles west of the original town of Augusta. Old Augusta, as it is now known, grew as a result of the 1832 extension of U.S. 421 (Michigan Road) which connected Indianapolis to Michigan City. Increased traffic along the roadway resulted in the community's growth.

In 1852 the Illinois Central Railroad laid its track just west of Old Augusta, thereby encouraging the establishment of a new village. William Hornaday seized upon the opportunity to subdivide his land adjoining the new railroad and the town of Hosbrook evolved. The town took its name from Percy Hosbrook, a member of the committee responsible for the sectioning of the land. There are, however, no extant structures associated with these early settlers. In 1878 due to a confusion over post offices, Hosbrook became New Augusta.

Although established in 1852, New Augusta did not experience a noticeable expansion until the 1870s. In 1872 William and Henry Pollard established a flour mill, the first major industry in the community. Prior to the mill, the only commercial interest was a dry good and grocery establishment owned by J. Klingensmith. However, by 1880 the business directory included six general stores. Other occupations and businesses included: two carpenters, two blacksmiths, three physicians, a wagonmaker, barber, and druggist, in addition to a saw mill which became an extension of the flour mill in 1884. The mill continued to be a viable industry until it burned in 1965. The 1880-81 Indiana State Gazeteer lists lumber as the principle export of New Augusta. The 1882-83 and subsequent Gazeteers list the principle exports as lumber, hogs, and grain. In this manner the railroad encouraged the growth of the town by providing convenient access for farmers to ship their products.

The earliest lots of New Augusta were oriented along the railroad, as plat maps indicate. Subsequent additions, which followed during the years c. 1854 to c. 1889 produced the more linear grid-like pattern evidenced today. Between 1854-89 Reuben Klingensmith's property added 13 lots to the east of the original plan; Henry Dobson and George Hornaday added 28 lots directly west and Hornaday added an additional two blocks to the

west. The boundaries of the town never extended beyond the 1889 additions, leaving New Augusta to retain its original village characteristics.

There are no clear reasons why New Augusta ceased to expand or merge with Old Augusta; however, several speculated explanations exist. Aside from the railroad, all other traffic routes were located adjacent to Old Augusta. Both the Interurban lines and the main thoroughfare of Michigan Road led to the growth and expansion of Old Augusta while bypassing New Augusta. With the advent of the automobile, traffic patterns continued to shift toward Old Augusta away from the railroad.

The district continues to maintain its rural characteristics. Distinct boundaries help to isolate the district and separate it from nearby industrial parks and various commercial activity. Within the district one finds small-scale vernacular housing, numerous small barns and outbuildings, a town pump, and a small commercial center.

ARCHITECTURAL SIGNIFICANCE

The housing stock of New Augusta can be characterized as vernacular interpretations of nineteenth and twentieth century architectural styles. While a few houses have ornamentation which reflects high styles of the period, the majority of buildings are simple and lack ornamentation, reflecting the rural, agricultural background of the village. Characterized by the simplistic lines and lack of ornamentation, these folk houses usually consist of front gable, gable and wing plan, or Hall and Parlor plan. Indicative of the small rural climate of New Augusta, many of these houses have accompanying outbuildings in the form of garages, barns, and small animal shelters.

The residence at 7124 Purdy typifies the vernacular trend. One of the oldest homes within the district, this c. 1855 frame building is void of ornamentation. Of particular interest is the brick farmhouse attached to the southwest corner of the main structure. Vegetables and fruit were stored in this room in the winter to prevent freezing.

The residence at 4546 W. 71st Street, built c. 1871, displays several elements seen on high style Queen Anne structures. This was a popular architectural style in the late nineteenth century, characterized by asymmetrical turrets, bay windows, and spindled porches.

The most high-styled house in the district is the Italianate building located at 7123 New Augusta Road. Circa 1875 it is believed that Asa G. Myers, a large land owner, built the two story house. Brackets still support the eaves of the medium-pitched hipped roof. Elliptical arch headers and the bay window on the southern façade are likewise characteristics of this architectural style popular throughout the Midwest in the late nineteenth century.

There are several buildings of note concentrated along Dobson and Pollard Streets. The commercial area, centered at the corner of Dobson and W. 72nd Streets has two large nineteenth century structures. This area served as a gathering place for local farmers.

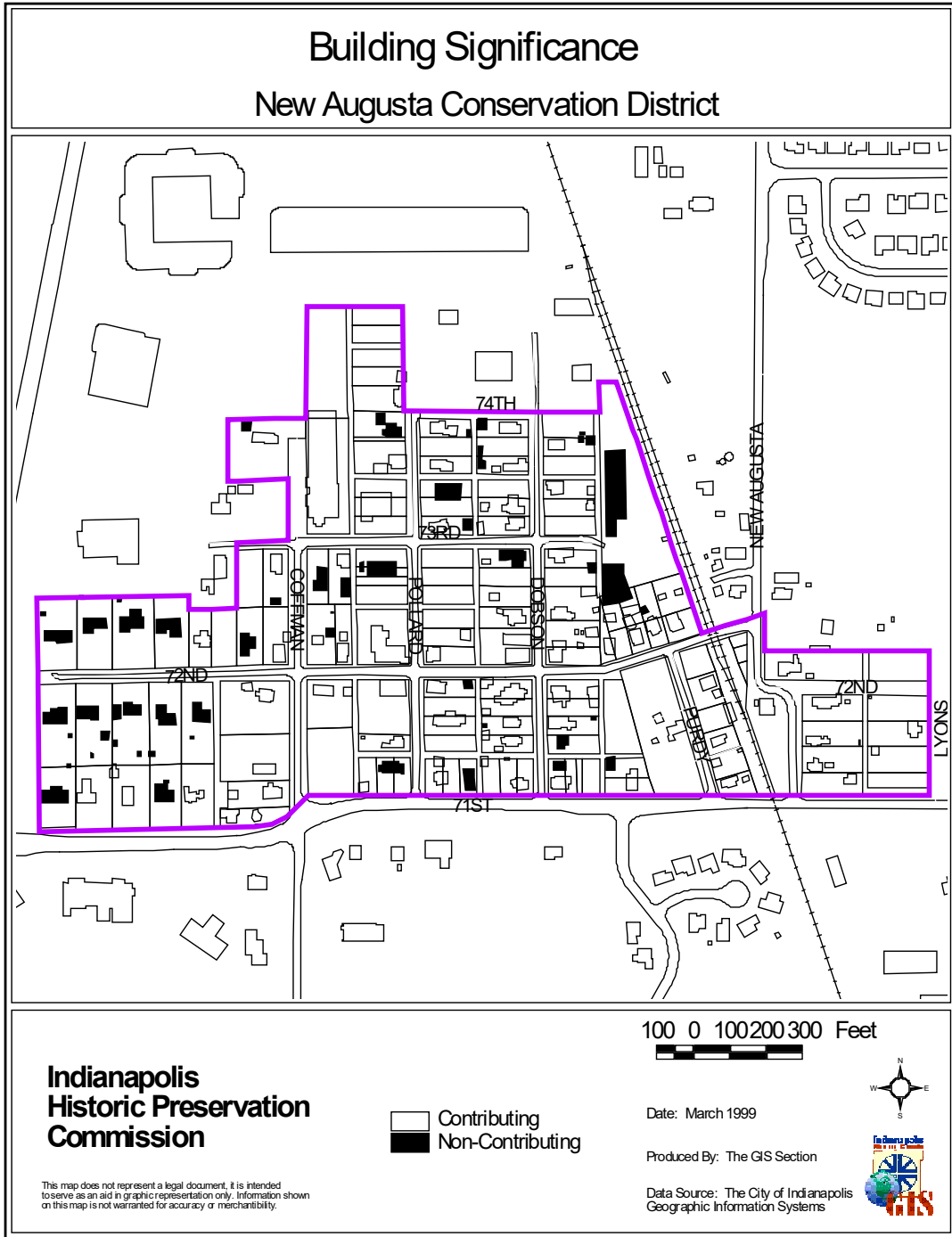
New Augusta represented a town where people could purchase supplies and exchange news. The two story brick building at 7202-04 Dobson is the former Oddfellows Building. As the largest commercial building in the village, the Oddfellows building housed such businesses as an ice cream store, grocery store, and barber shop. Another lodge building is located at 4705 W. 72nd Street. This Masonic Lodge also housed businesses on the main level, including the New Augusta State Bank from 1911-1963.

During the latter part of the nineteenth century, three churches established themselves in New Augusta. Today, the only remaining religious structures is the Salem Lutheran Church located at the intersection of W. 72nd and Dobson Streets. Built between 1876-80, this Romanesque Revival style church dominates the streetscape in this area. Such elements as the gabled nave, corbel table, and round arched openings are typical characteristics of the style.

Another structure of note to New Augusta served in an educational capacity. The building at 4790 W. 73rd Street, erected c. 1880, originally existed as a four room schoolhouse. In 1912 the school was closed and the building was enlarged to become a gymnasium. The structure was enlarged again in 1916 and 1921. The gym was closed in 1942.

Today, the New Augusta train depot stands as a reminder of the importance and influence the railroad had to this small village. Constructed c. 1895, it is the second depot at this location. A previous structure built in 1852 burned to the ground shortly before the new depot was built.

NEW AUGUSTA CONSERVATION DISTRICT



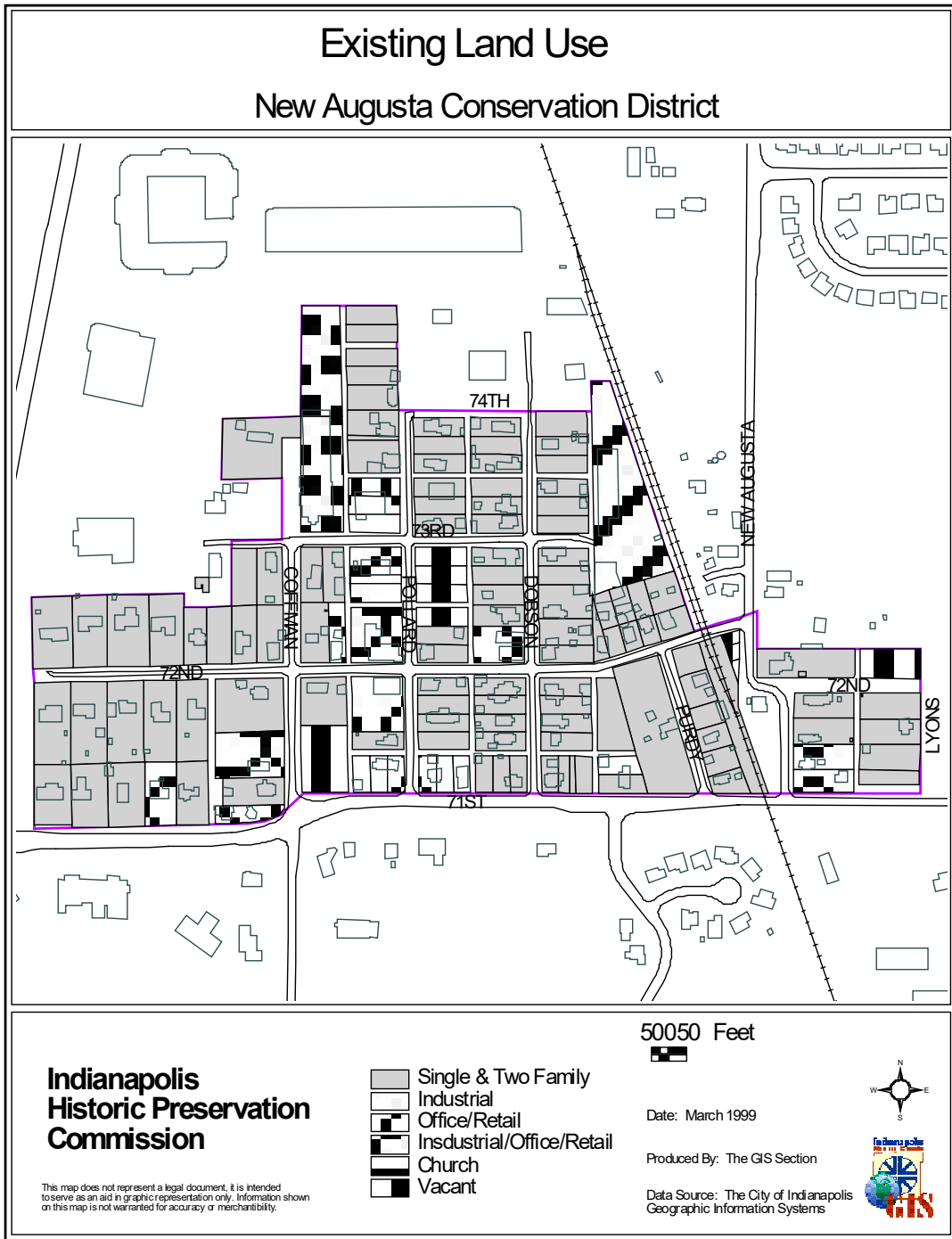
HISTORICAL SIGNIFICANCE

EXISTING CONDITIONS

The purpose of this section is to give a snapshot view of the general conditions existing within New Augusta at the time this plan is developed and adopted. Despite the expansion of surrounding commercial, industrial, and residential uses, New Augusta has, thus far, been able to retain much of its historic character. This section will help to identify where threats to neighborhood character are most likely to take place by taking an inventory of things such as traffic concerns, current land uses, and current zoning classifications. It will also help to measure the change that occurs in the future.

EXISTING LAND USE

New Augusta is primarily a residential neighborhood, with most of its land occupied by single family homes. Throughout the neighborhood, however, is a scattering of office and retail uses along with two areas of church related uses. There is no strong concentration of office/retail use, though much of it seems to be located on or near 71st Street. Located along the railroad tracks to the east is a pocket of industrial use.



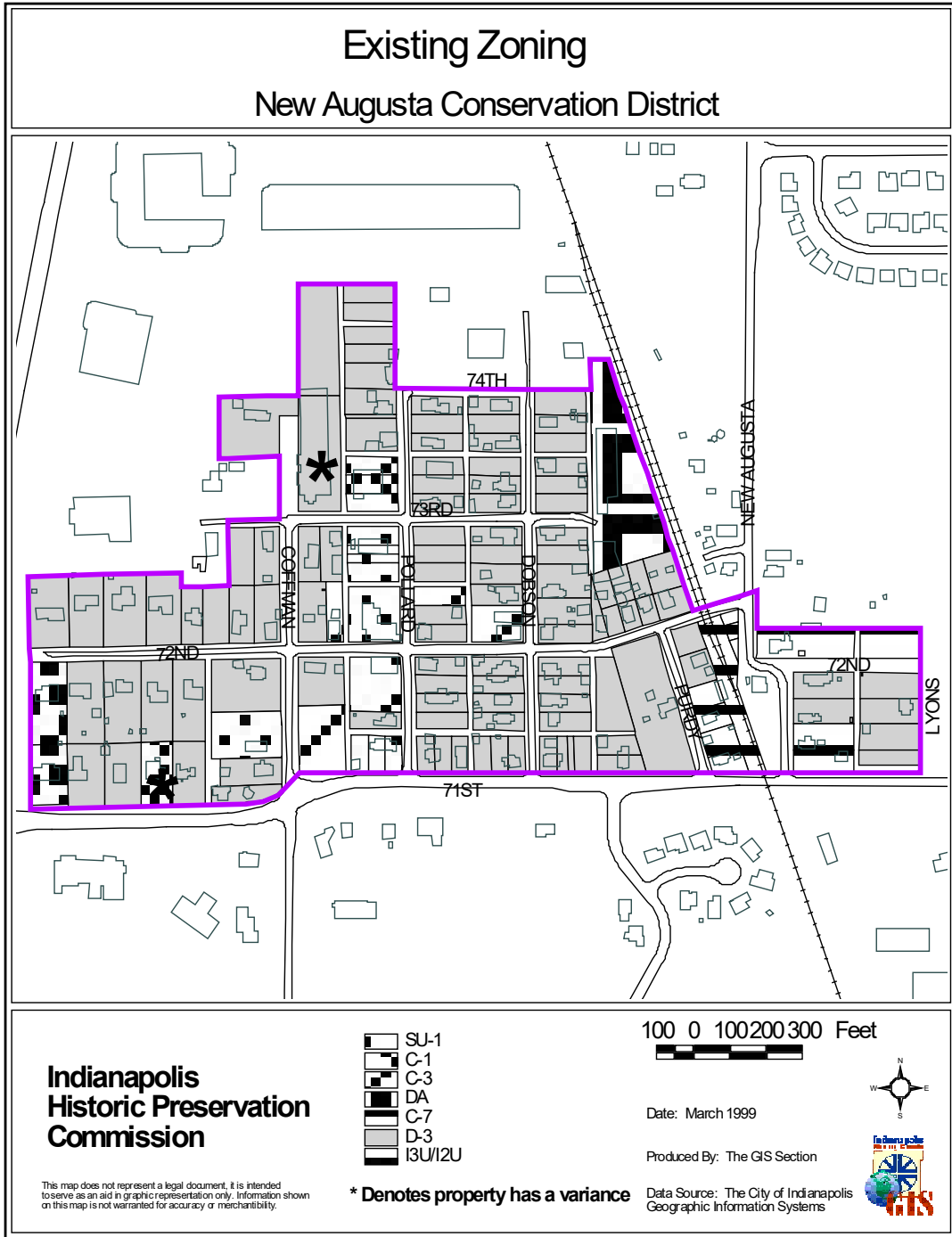
EXISTING LAND USE

EXISTING ZONING

The New Augusta Conservation Area contains the following zoning districts:

- D3- Dwelling District
- DA - Dwelling Agriculture
- C1 - Commercial (office buffer district)
- C3- Commercial (neighborhood commercial district)
- C7 Commercial (high intensity commercial district)
- I2U Light Industrial Urban District
- I3U Medium Industrial Urban District
- SU1 Special Use District

For complete information about permitted uses and development standards, consult the applicable zoning ordinance.



EXISTING ZONING

PRESERVATION OBJECTIVES

Building Objectives

- Support and encourage the rehabilitation of historic buildings in a manner that complements and reflects the history and character of the neighborhood.
- Encourage new design that is compatible with and enhances the unique architectural and historic character of the district.

Land Use Objectives

- Maintain the current balance of residential and commercial buildings.

New Development Objectives

- Encourage new residential construction on vacant lots to be compatible with and enhance the unique architectural and historic character of the district.
- Discourage the subdivision and overbuilding of sites that were historically large and open.

General Neighborhood Character Objective

- Preserve and enhance the neighborhood character through landscaping and infrastructure improvements that are consistent with the semi-rural, small town character.

Revitalization/Stability Objective

- Encourage the establishment of neighborhood serving businesses in vacant commercial buildings.

Public Infrastructure/Amenities Objectives

- Encourage the installation of period-appropriate infrastructure.
- Encourage the preservation of historic circulation patterns.

RECOMMENDATIONS

The purpose of this section is to provide recommendations for future actions that will affect the physical development and character of New Augusta. The recommendations were developed by IHPC staff in consultation with neighborhood residents and property owners. As with any recommendations, they are meant to guide, not mandate, and are to be used as tools in developing actions and strategies for future decisions.

GENERAL LAND USE AND DEVELOPMENT RECOMMENDATIONS

New Augusta is being increasingly surrounded by suburban housing, commercial centers, office and industrial development, which potentially threatens New Augusta's historic character. The primary land use and development objective identified by residents and property owners is to maintain the current mix of residential and commercial uses. Another concern is the conversion of houses to commercial use and the future development of vacant lots for commercial use. To help protect the neighborhood from these threats, the following recommendations are suggested:

- Encourage the continued use of historic houses as residences.
- Encourage the continued use of historic commercial buildings for office or retail use.
- Consider changes in use from residential to office along W. 71st St., provided residential buildings retain their residential character.
- Support construction of compatible single family housing on vacant lots to strengthen the existing residential core.
- Discourage the conversion of residential buildings to commercial uses.
- Discourage demolition of existing structures for commercial and parking uses.
- Discourage the subdivision and overbuilding of sites that were historically large and open.

ZONING RECOMMENDATIONS

One way to protect New Augusta from inappropriate development is to provide appropriate zoning. Currently, most of the area is zoned D-3, which supports its medium density single family housing. A wide range of development opportunities are allowed in other zoning districts in New Augusta. Properties unnecessarily zoned for commercial use are of primary concern. Inappropriate zoning could make it possible for New Augusta to lose historic fabric and character to commercial uses. In response to these threats, the following recommendations are suggested:

D-3: medium density residential.

- Most of New Augusta is zoned D-3. A D-3 property should not be rezoned unless the existing building on it was built for non-residential use and rezoning is necessary to allow a use appropriate to the building and compatible with the neighborhood.
- If special circumstances warrant consideration of a non-conforming use within a D-3 zone, a variance of use (preferably limited to the owner) should be considered before a rezoning.
- Exception: The relatively large site and building at 4790 W. 73rd St. is not suited to residential use but is presently zoned D-3 (with a variance to allow industrial use). If the site should become vacant, D-3 is preferred. As long as the present building exists, variances should be considered if they allow uses compatible with the building and the neighborhood.

SU-1: Special use district for churches.

- The two properties zoned SU-1 in the neighborhood are appropriate for their church uses.
- If church use ceases, C-1 and/or D-3 should be considered to accommodate the adaptive reuses of the existing non-residential buildings.

D-A: agricultural and large estate residential (minimum 3 acres).

- The lots with houses at 4901 W. 72nd St. and 4884 W. 71st St. should be rezoned D-3 to be consistent with the adjacent lots with identical size and development.
- The vacant lot on W. 72nd St. on the eastern boundary of the neighborhood should be zoned D-3 to accommodate residential development. The lot is too small for D-A development.
- All three of these properties should be rezoned D-3.

C-1: Exclusively office uses.

- C-1 is appropriate for the non-residential buildings at 4710 W. 73rd St. and 4705 W. 72nd St.
- The buildings at 4730 and 4840 W. 71st St. have been converted from residential to office uses. C-1 is appropriate since they will not likely become residences again.
- If properties with W. 71st St. addresses area converted from residential uses, variances or rezoning to C-1 should be considered to allow office uses, which can respect the architecture of the buildings and have minimal impact on nearby residences.

C-3: Neighborhood commercial

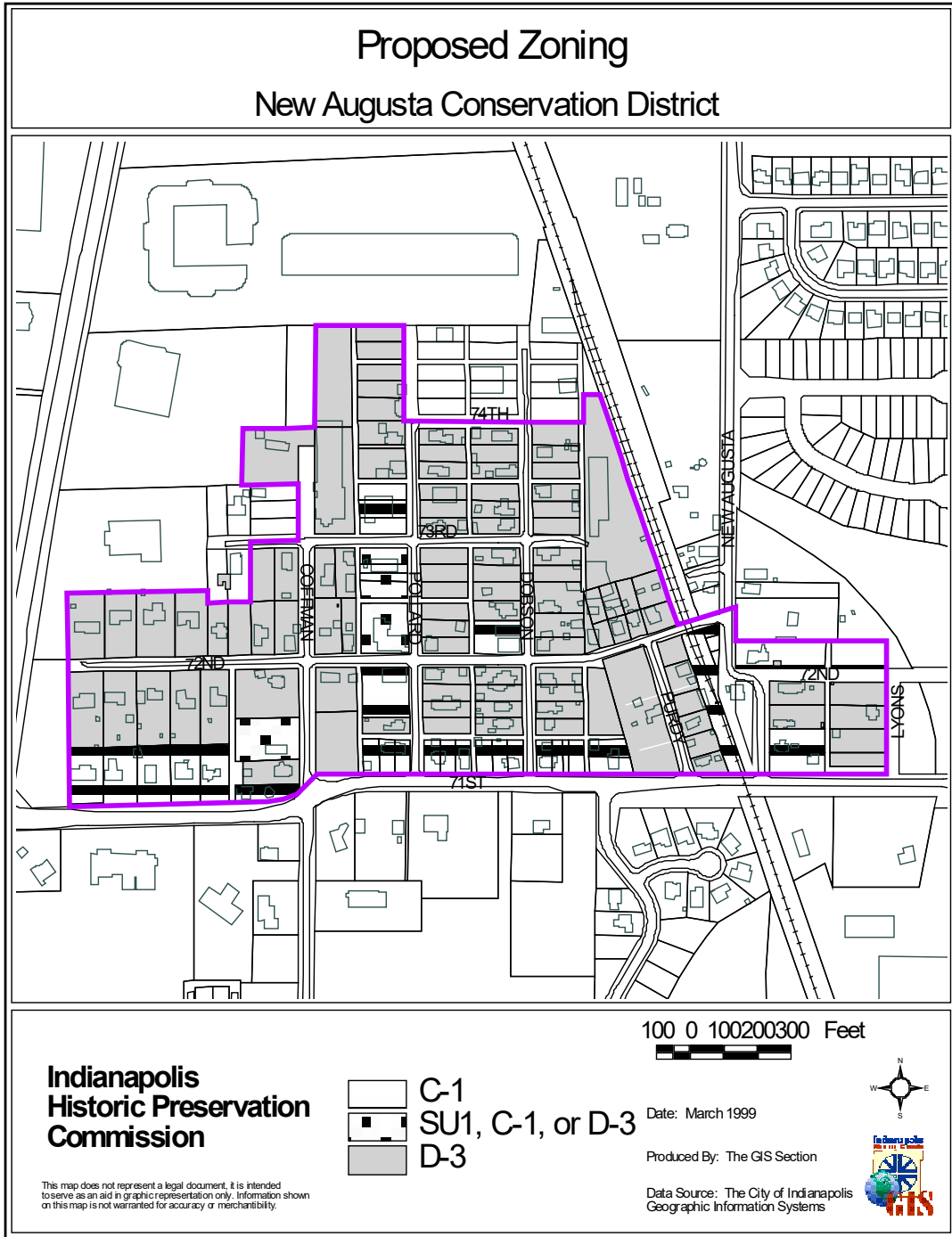
- Three properties in New Augusta are zoned C-3, which allows many commercial uses that would not be compatible with the neighborhood, including gas stations, convenience markets and carry-out food establishments.
- The relatively large vacant site at 7117 Coffman Rd. should be zoned D-3 and residential development should be oriented to Coffman St. rather than W. 71st St.
- A small vacant site on Pollard St. north of 4636 W. 72nd St. is not appropriate for offices and should be zoned D-3.
- The site at the northwest corner of Dobson St. and W. 72nd St. contains two historic non-residential structures. C-3 allows far too intense uses and should be changed to C-1.

C-7: High intensity commercial.

- Much of the property in the southeast corner of the neighborhood is zoned C-7, which is defined as incompatible with residential development and allows almost any type of commercial development. It should all be rezoned.
- C-7 property on the east side of Purdy should be zoned D-3.
- Other C-7 property should be C-1 (with a variance limited to the owner, if needed and appropriate).

I-2-U and I-3-U: Light and medium industrial urban districts.

- Two adjacent properties along the railroad tracks carry these zoning designations.
- Due to the small size of the sites, lack of adequate access and surrounding housing, these sites are not ideal for industrial development. The present zoning accommodates the uses and buildings now on the sites. If the sites ever become vacant, they should be rezoned to a zoning designation more compatible with the surrounding residences.



PROPOSED ZONING

HOUSING RECOMMENDATIONS

The New Augusta neighborhood consists primarily of residential structures, thus contributing to the area's semi-rural character. Another contributor to this character is the wide spacing of homes and the abundance of open space. All of these qualities have been identified as assets by the residents of New Augusta, and are vitally important to the preservation of the neighborhood's historic character.

- Encourage the continued use of historic houses as residences.
- If existing vacant lots are developed, encourage the construction of compatible single family housing in order to strengthen the existing residential core.
- Discourage the conversion of residential structures for commercial use unless they are immediately adjacent to W. 71st St.

TRAFFIC AND THOROUGHFARE RECOMMENDATIONS

The residents of new Augusta, because of increasing pressures placed on the neighborhood by nearby new development, area concerned about issues of traffic safety and circulation. The streets and alleys within New Augusta currently reflect the residential and rural characteristics of the neighborhood. Streets are narrow, are absent of curbing, and most are not through-streets which carry traffic quickly across the neighborhood to other destinations. The fact that there are few through-streets is an asset to the neighborhood, protecting it from potentially dangerous traffic and maintaining the slower-paced residential feel of the area.

The IHPC has no specific jurisdiction over matters of traffic control and use of public rights-of-way (aside from physical design, if a change is to occur). However, it is recommended that certain issues be investigated for solutions that will better support the continuing conservation and preservation of the neighborhood. The issues are probably best pursued by neighborhood property owners and the neighborhood association with support from this plan. The following issues were identified by neighborhood residents during the process of developing this plan:

- Encourage measures to slow the speed of traffic on W. 71st Street and New Augusta Road.
- Maintain the established truck routes through New Augusta.
- Discourage the vacation of existing alleys and encourage the retention of alley access to properties.
- Discourage the development of additional through streets within the neighborhood.
- Encourage the development of a right turn lane from New Augusta Road to W. 71st St.
- If W. 71st St. is improved, a traffic control light should be considered at the intersection of W. 71st St. and New Augusta Road.
- If W. 71st St. is widened, every effort should be made to avoid and minimize the effect of the road improvements on the properties along the New Augusta side (north side) of the street.

PUBLIC INFRASTRUCTURE RECOMMENDATIONS

The New Augusta neighborhood has a visual character that is defined by its open space, widely spaced houses, and the absence of sidewalks and curbs. These characteristics, in addition to the presence of barns and outbuildings, give the area a rural, small town feel which could be disrupted by the installation of additional infrastructure where it historically did not exist. Any future alterations to the public infrastructure should be for the purpose of enhancing the historic neighborhood character or denoting historic neighborhood boundaries.

- Encourage the maintenance of existing sidewalks.
- Discourage the addition of new sidewalks within the neighborhood, where sidewalks did not historically exist.
- Encourage the development of a sidewalk along the south side of 71st Street.
- Property owners and the neighborhood association should investigate, and initiate if feasible, the installation of light fixtures with the appropriate historic character to help denote the district.
- Property owners and the neighborhood association should investigate, and initiate if feasible, the installation of historic street signage or historic district signage to help denote the district.
- Encourage the addition of historically appropriate landscaping on city-owned property.
- Encourage and support the correction of drainage and storm sewer problems.
- Encourage the burial of all utilities with new development.

ARCHITECTURAL AND DESIGN STANDARDS

PURPOSE OF ARCHITECTURAL AND DESIGN STANDARDS

These standards are intended to help individual property owners choose an appropriate approach to issues which arise when working on historic buildings and when developing in an historic area. They are meant to indicate a range of alternative approaches which may differ from building to building and from property to property, but which are, nevertheless, compatible with the character of the New Augusta Conservation Area. The standards are not meant to restrict creativity, but are meant to suggest appropriate approaches and to guard against unsympathetic actions.

Each standard contains an explanation of what is subject to review and approval by the IHPC and a set of guidelines that provide recommended and not recommended approaches to specific kinds of work to be undertaken. Only those items and actions specifically noted as “Subject to Review and Approval” require a certificate of appropriateness.

CERTIFICATES OF APPROPRIATENESS (COA’s)

The Indianapolis Historic Preservation Commission (IHPC) grants approvals by issuing certificates of appropriateness or, in special circumstances, certificates of authorization (in the case of an inappropriate action approved for a special circumstance). The IHPC uses the design standards when it reviews and makes decisions regarding alterations, new construction, reconstruction, and demolition.

THE IHPC’S STATUTORY AUTHORITY TO APPROVE

A state statute (I.C. 36-7-11.1) authorizes the IHPC to review and approve the following actions before they occur in a district:

- construction of any structure
- reconstruction of any structure
- alteration of any structure
- demolition of any structure
- rezoning
- variance of use
- variance of development standards

Before receiving any permits or undertaking any work to or on the exterior of a building, and that constitutes construction, reconstruction, alteration, demolition or is otherwise included in these standards as “Subject to Review and Approval,” a Certificate of Appropriateness or Certificate of Authorization from the Indianapolis Historic Preservation Commission must be obtained.

WHERE TO FIND HELP

The IHPC staff may be consulted for assistance in meeting the standards, applying for certificates of appropriateness, and for obtaining IHPC rules, policies and procedures. At

the time this plan is written, the staff may be reached at (317) 327-4406.

CONSERVATION DISTRICT EXEMPTED ACTIONS

The state statute allows a preservation plan to specifically exempt certain categories of work involving the construction, reconstruction, alteration or demolition of structures from the requirement that a certificate of appropriateness be issued. In a preservation plan for a conservation district, the following is the guiding principle:

All construction, reconstruction, alteration and demolition of any structures in the conservation district is exempt from the requirement that a certificate of appropriateness be issued UNLESS specifically noted in the design guidelines as “Subject to Review and Approval.”

The above principle is very different from an historic district, where it is assumed that all work is subject to review and approval UNLESS specifically exempted.

DEFINITIONS OF TERMS IN THE STANDARDS

1. NOT SUBJECT TO REVIEW AND APPROVAL

IHPC DOES NOT REVIEW. Each standard has a statement that explains exactly what is NOT subject to review and approval by the IHPC and does NOT need a certificate of appropriateness. The statement is surrounded on the page by a border. In most cases, it will state that all work related to the specific issue is exempt from IHPC review and approval unless specifically noted separately as “Subject to Review and Approval.”

2. SUBJECT TO REVIEW AND APPROVAL

IHPC DOES REVIEW. This is a list of those things that specifically ARE SUBJECT to review and approval by the IHPC

3. GUIDELINES

Each design standard includes guidelines that relate to the items listed as “Subject to Review and Approval.” They are enforceable by the IHPC. Guidelines help to develop a design and development framework within which people can understand the appropriateness of proposed work. These guidelines may be less comprehensive and less restrictive than for an historic district.

**CONTENTS OF
NEW AUGUSTA CONSERVATION DISTRICT ARCHITECTURAL
AND DESIGN STANDARDS**

RENOVATION DESIGN STANDARDS	30
AWNINGS AND CANOPIES.....	30
DOORS AND DOOR OPENINGS.....	32
HANDICAPPED ACCESS.....	34
MASONRY	36
NON-CONTRIBUTING BUILDINGS	38
PAINT COLORS	39
PORCHES.....	40
ROOFS AND ROOF ELEMENTS.....	42
SECURITY ITEMS	44
SIDEWALLS (Commercial Buildings).....	45
SIDING MATERIALS (wood, vinyl, other)	46
STOREFRONTS.....	48
TRIM AND ORNAMENTATION	50
WINDOWS AND WINDOW OPENINGS	52
NEW CONSTRUCTION DESIGN STANDARDS.....	54
PRIMARY STRUCTURES	56
ADDITIONS, GARAGES AND ACCESSORY BUILDINGS	64
SITE DEVELOPMENT AND LANDSCAPE STANDARDS.....	66
STANDARDS FOR MOVING BUILDINGS	68
SIGN STANDARDS.....	69
PARKING LOT STANDARDS.....	70
PUBLIC INFRASTRUCTURE STANDARDS.....	72
DEMOLITION GUIDELINES.....	73

RENOVATION DESIGN STANDARDS

AWNINGS AND CANOPIES

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to awnings and canopies is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Temporary¹ Awnings and Canopies:** Any awning or canopy except as described below. Types include canvas and metal awnings usually found on houses.

SUBJECT TO REVIEW AND APPROVAL

Permanent² Awnings and Canopies attached to the front façade³ of a building or to a façade visible from the street.

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

1. Permanent awnings and canopies are generally appropriate if there is evidence that one originally existed on the building or they were typically installed on buildings of the same style and era.
2. A permanent awning or canopy should not obscure original architectural detail on a building.

NOT RECOMMENDED

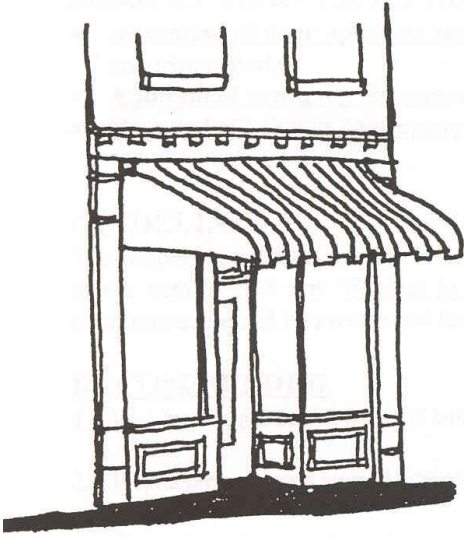
1. Permanent awnings and canopies are generally not recommended when there is no evidence that one originally existed on the building or they were not typically installed on buildings of the same style and era.

¹ “Temporary” means attached to the structure in a marginal, easily removable manner. A temporary awning or canopy is usually easily removable, often by hand, and its installation or removal has almost no structural effect on the building.

² “Permanent” means permanently affixed to the structure of the building and not meant to be easily removable. A permanent awning or canopy is usually integrated into the structure of the building and its installation or removal would result in significant work.

³ “Front Façade” means the façade facing the street. In the case of corner properties, the façade facing the main street and the façade facing the side street are both considered “front facades” for the purposes of these standards.

NEW AUGUSTA CONSERVATION DISTRICT
RENOVATION DESIGN STANDARDS



RECOMMENDED



NOT RECOMMENDED

DOORS AND DOOR OPENINGS

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to doors is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Door replacement** on any facade
- **Garage doors**
- **Storm and screen doors**
- **Door hardware**
- **Addition of new door openings** on non-front facades⁴ only.
- **Removal of existing door openings** on non-front facades only.

SUBJECT TO REVIEW AND APPROVAL --Front Façade⁵ Only

- **Alteration of door openings and door trim** on front facades only. Changes in size, shape and material.
- **Addition of new door openings** on front facades only.
- **Removal of existing door openings** on front facades only.

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

1. Retain original door openings and trim on the front facade in their unaltered condition.
2. Replacement doors should complement with the character and style of the building.
3. If an alteration to a front facade door opening must be made, it should be done with as little effect on the historic character of the house as possible.

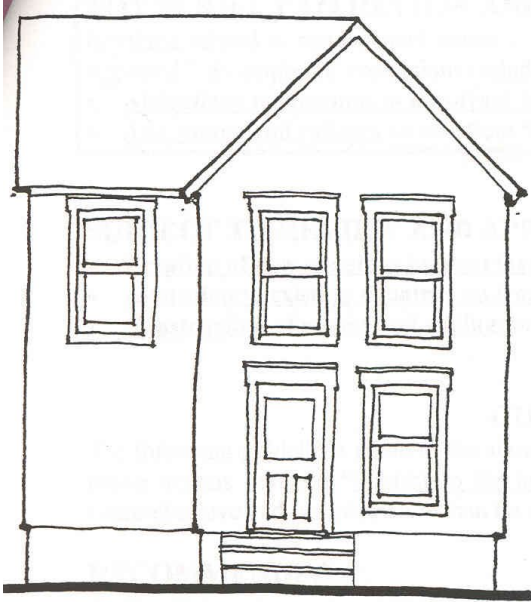
NOT RECOMMENDED

1. Eliminating original or adding new door openings on the front facade.
2. Changing the original size and shape of front façade door openings.

⁴ “Front Façade” means the façade facing the street. In the case of corner properties, the façade facing the main street and the façade facing the side street are both considered “front facades” for the purposes of these standards.

⁵ See footnote above.

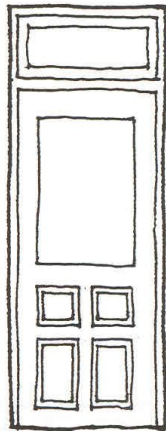
NEW AUGUSTA CONSERVATION DISTRICT
RENOVATION DESIGN STANDARDS



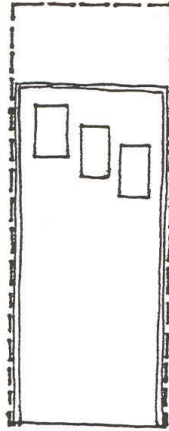
ORIGINAL



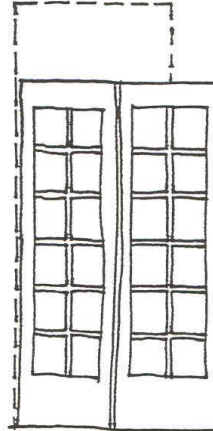
NOT RECOMMENDED



ORIGINAL



NOT RECOMMENDED



NOT RECOMMENDED

HANDICAPPED ACCESS

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to handicapped access is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Alterations to openings in non-front facades** for handicapped access.
- **Any ramps and railings** on non-front facades.

SUBJECT TO REVIEW AND APPROVAL --Front Façade⁶ Only

- **Creation of new openings in front facades** for handicapped access.
- **Alteration to existing openings on front facades** for handicapped access.
- **Construction of ramps and railings** on front facades.

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

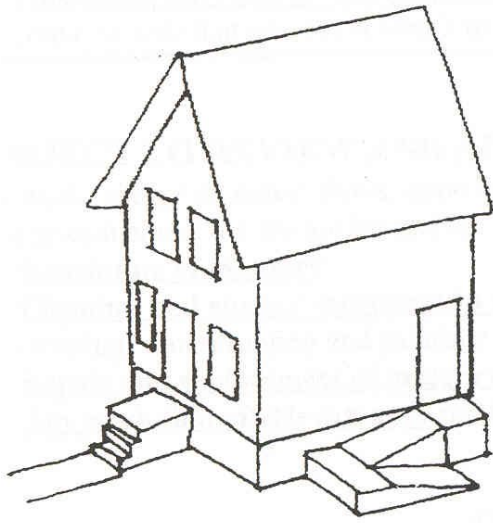
1. Handicapped ramps on front facades should be constructed so that their effects are as reversible as possible.

NOT RECOMMENDED

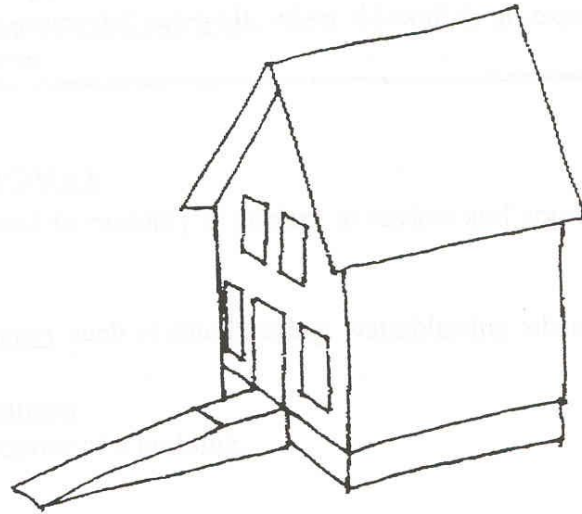
1. Covering or removing significant architectural detail on front facades.

⁶ “Front Façade” means the façade facing the street. In the case of corner properties, the façade facing the main street and façade facing the side street are both considered “front facades” for the purposes of these standards.

NEW AUGUSTA CONSERVATION DISTRICT
RENOVATION DESIGN STANDARDS



APPROPRIATE



INAPPROPRIATE

MASONRY (Stone, Cast Stone, Brick, Stucco)

NOT SUBJECT TO REVIEW AND APPROVAL

The only work that is not subject to review and approval is:

- **Plastering, parging, or stuccoing of a commercial sidewall**, when sidewall is an exposed common wall that was never meant to be seen.

SUBJECT TO REVIEW AND APPROVAL

All work, except as noted above, done with and to masonry is subject to review and approval. Examples include, but are not limited to:

- **Repointing of masonry**
- **Cleaning and surface treatment to masonry** such as sandblasting, waterblasting, chemical cleaning, waterproofing and painting.
- **Repair and replacement of masonry elements**
- **Any work that effects masonry** on the exterior of a building.

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

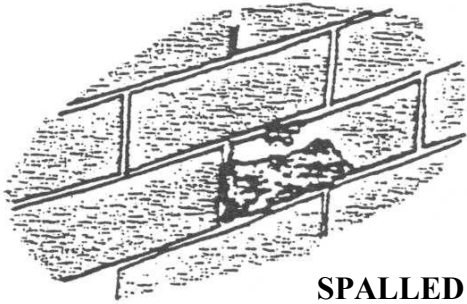
RECOMMENDED

1. Identify and stop the causes of damaged masonry before undertaking repairs.
2. If mortar is missing or loose, the joints should be cleaned out with care not to damage the brick or stone. Repoint using a mortar mix which closely matches the composition, joint profile and color of the original. A high-lime content mortar should be used on soft historic bricks. Consult with an expert or IHPC staff for guidance on proper mix.
3. Whenever replacement brick or stone is needed, use salvaged or new material which closely matches the original in size, color, uniformity and texture.
4. Repainting previously-painted masonry after removing all loose paint. Firmly affixed paint does not need to be removed.
5. Any cleaning should be done with the gentlest method possible and should be stopped at the first evidence of damage to masonry. Test patches should be used to assess the effect of any proposed cleaning method.

NOT RECOMMENDED

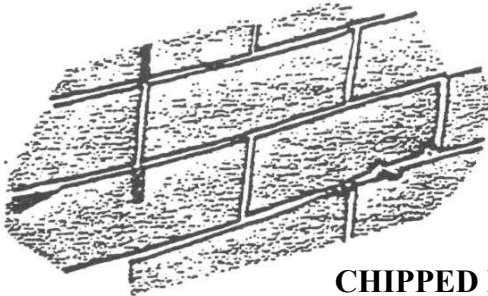
1. Power grinders. The mechanical equipment is cumbersome and even the most skilled worker will tire or slip and cause irreversible damage.

2. Sandblasting, high pressure water blasting (over 600 psi), grinding, and harsh chemicals.
3. Painting, waterproof and water repellent coatings, unless masonry was previously treated. They are generally not needed and can potentially cause serious damage to the masonry. Also avoid covering masonry with tar or cement coatings.



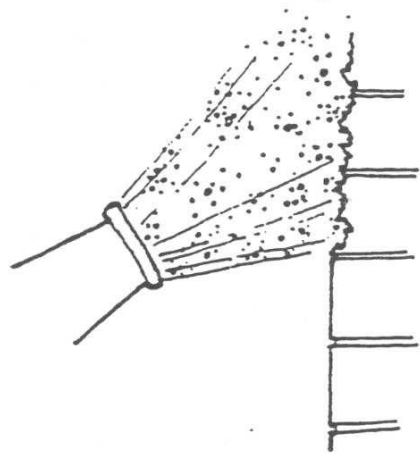
**SPALLED
BRICK/MISSING
BRICK SURFACE**

**CARELESS USE OF A
POWER GRINDER OR SAW
TO REMOVE MORTAR**



**CHIPPED BRICK
FROM CARELESS
USE OF A CHISEL**

**SANDBLASTING REMOVES
SURFACE OF BRICK**



NON-CONTRIBUTING BUILDINGS

Buildings identified on the Building Significance Map (on page 10) as non-contributing can be assumed to have little, if any, historic significance.

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to renovating non-contributing buildings is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Renovation and alteration** to an existing non-contributing building (this exclusion does not include new additions to non-contributing buildings.)
- **Addition of rear porches**

SUBJECT TO REVIEW AND APPROVAL

- **Addition of front porches and side porches**
- **Additions of any room additions**⁷

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “subject to review and approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

1. Additions of a new front porch should be done in a way that is compatible with the style of the non-contributing building and is not incompatible with surrounding historic buildings.
2. Room additions should be of a style, mass, scale and material that is aesthetically compatible with the non-contributing building and is not incompatible with surrounding historic buildings.

⁷ Room additions include:

1. Expanding square footage on the ground floor.
2. Adding square footage in the attic if it results in a change in the roof shape such as dormers and shed roof additions.
3. The addition of an attached garage.

PAINT COLORS

NOT SUBJECT TO REVIEW AND APPROVAL

The painting of any paintable surface is exempt. Approval is not needed to paint such surfaces and is not needed for the colors selected.

NOTE: There are certain circumstances when the painting of masonry may not be allowed. See the pages for “Masonry” in these renovation design standards.

PORCHES

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to porches is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Removal of rear porches**, from rear facades.
- **Alteration of rear porches**, on rear facades.
- **Construction of new rear porches**, on rear facades.

SUBJECT TO REVIEW AND APPROVAL

Front and Side Facades Only

- **Removal of existing front and side porches**
- **Alteration to existing front and side porches**
- **Construction of new front and side porches**

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

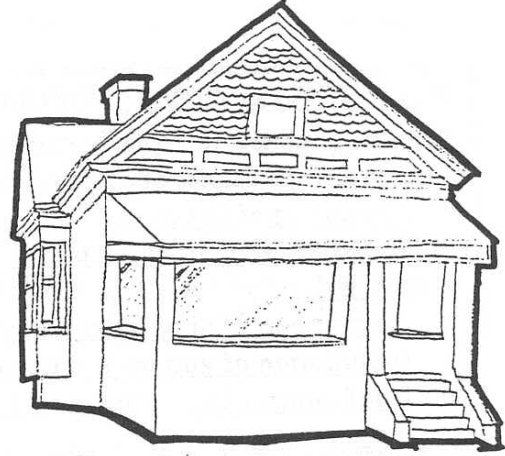
RECOMMENDED

1. Repair and retain original porches on front and side facades.
2. If rebuilding front and side porches is necessary due to structural instability, reuse as much of the original decorative details as possible.
3. If replacing a missing porch, it should be based on as much evidence as possible about the original porch design, shape, and details, OR it should be a simple design that is compatible with the style of the house.
4. If adding a porch to the front or side facade where none ever existed, it should be designed to be as reversible as possible and should cover and remove as little historic detail as possible.
5. If altering a existing front or side porch, it should be done in a way to minimize effect on the historic character of the house. If a wood porch floor is replaced with concrete, it should replicate the original form and dimensions as close as possible.
6. Consider retaining non-original front and side porches if they have their own architectural or historic importance.

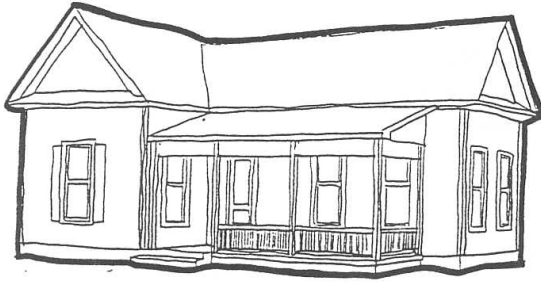
NEW AUGUSTA CONSERVATION DISTRICT
RENOVATION DESIGN STANDARDS



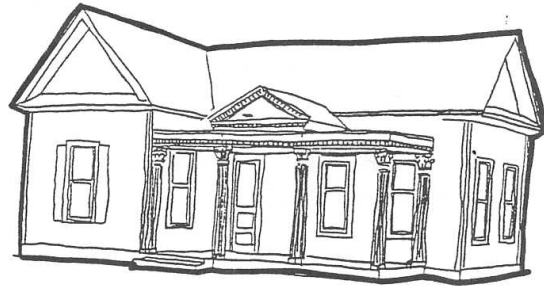
EXISTING



**INAPPROPRIATE
DETAIL COVERED BY ADDED PORCH**



APPROPRIATE



**INAPPROPRIATE
ELABORATE DETAIL ON SIMPLE COTTAGE**

ROOFS AND ROOF ELEMENTS

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to roofs is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Reroofing of flat roofs**
- **Installation of anything on flat roofs**, when not visible from the ground.
- **Skylights** (type and location), when on rear or side roof slopes.
- **Installation of aluminum and vinyl soffits**, covering the existing soffits.
- **Installation of gutters and downspouts**, if rafter ends are not altered.
- **Roof mounted antennas, small satellite dishes (not over 18”) and vents**
- **Alteration, removal, addition of chimneys**
- **Reroofing** (material and color)

SUBJECT TO REVIEW AND APPROVAL

- **Alteration of roof shape and slope**, including addition of dormers and sheds.
- **Skylights** (type and location), when on a roof slope that faces the street (both streets in the case of a corner property).
- **Alteration of built-in gutters**

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “subject to review and approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

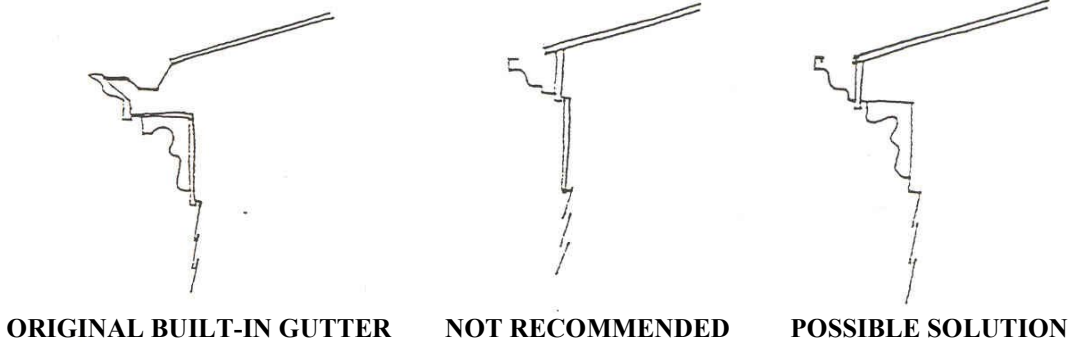
RECOMMENDED

1. Adding a slope to a flat roof if it does not affect the character of the building.
2. Repairs and retention of built-in gutters or reconstruction of the gutters in a similar configuration using alternative materials.
3. Original chimneys that contribute to the roof character should be repaired and retained. If no longer in use, they should be capped rather than removed.

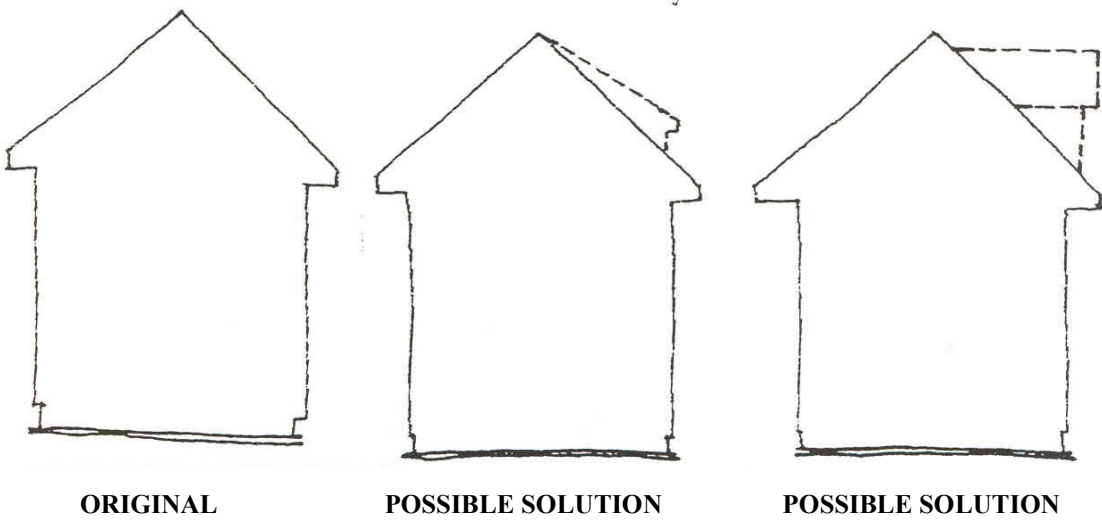
NOT RECOMMENDED

1. Altering roof slope and shape in a way that changes the historic character of building.
2. Adding dormers or roof sheds that change the significant character of the building.
3. Cutting or altering decorative rafter ends to accept a new gutter board.
4. Skylights that face the front and are highly visible from the street.

5. Placing roof vents, metal chimneys, antennas, solar panels, satellite dishes (over 18”), air conditioning units, and other mechanical equipment where visible from the street.



GUTTER ALTERATIONS



ROOF ALTERATIONS

SECURITY ITEMS

NOT SUBJECT TO REVIEW AND APPROVAL

The following security items are exempt:

- **Installation of secondary security doors**⁸, provided the opening is not altered.
- **Installation of security bars** on windows.
- **Installation of security lights and alarm boxes.**
- **Replacement of basement windows with glass block**, provided the opening is not altered.
- **Installation of security gates** on store windows.

SUBJECT TO REVIEW AND APPROVAL

Any security device or alteration, unless specifically exempted above or in one of the other guidelines, and that is on the exterior of a building.

⁸ A secondary security door is installed like a screen or storm door over the primary door. It usually has glass and bars. It is not a solid replacement door for the primary door.

SIDEWALLS (Commercial Buildings)

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to commercial sidewalks is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Plastering, parging or stuccoing of a sidewalk** that was once a common wall with another building.
- **Adding windows and doors in a sidewalk** that was once a common wall with another building.

SUBJECT TO REVIEW AND APPROVAL

- **Alterations to sidewalks**, when adjacent to a street
- **Signage on sidewalks** (see Sign Standards)
- **Placement of murals on sidewalks**

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “subject to review and approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

1. For alterations to sidewalks, see the Standards for the specific type of work.
2. Painted advertising and business signs on sidewalks that historically had such advertising might be considered provided the design evokes the character of historic sidewalk signage.
3. Sidewalls are not good locations for billboards.

SIDING MATERIALS (wood, vinyl, other than masonry)

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to non-masonry siding is exempt, except as noted in “Subject to Review and Approval,” examples of exemptions include:

- **Removal of insulbrick, vinyl, aluminum** or other non-original covering
- **Replacement of existing wood siding** with new real wood siding of the same dimension and surface texture.
- **Installation of vinyl, aluminum** or other man-made siding material over existing wood siding (leaving the existing siding in place).

SUBJECT TO REVIEW AND APPROVAL

- **Removal of any existing siding** or trim in order to replace it with any new material unless specifically exempted above.
- **Replacement of existing siding** with any different material.

NOTE: Covering existing siding with aluminum or vinyl siding does not need review and approval. Removing existing siding before installing aluminum or vinyl siding does need review and approval.

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

1. It is best repair and restore original wood siding if possible. If it is decided to replace original wood siding, it should be replaced with wood siding of similar dimension and surface texture. A hardboard material can be considered if it is similar in dimension and surface texture to the original.
2. If it is decided to cover wood siding with aluminum or vinyl siding, such siding should meet the following specifications:
 - dimension and direction of “lap exposure” should be similar to the original wood lap exposure being covered
 - smooth surface texture is preferred to textured surface
 - avoid covering all wood trim and detail

NOT RECOMMENDED

1. The use of high pressure water blasting (over 600 psi), sandblasting, rotary sanding or a blow torch should be avoided when removing paint off wood siding.
2. Installation of sheet material as finish siding.

TYPICAL SIDING ON HISTORIC BUILDINGS



MAY BE APPROPRIATE ON NEW CONSTRUCTION



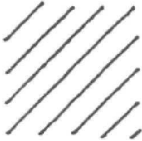
INAPPROPRIATE



TOO WIDE



**WRONG
DIRECTION**



DIAGONAL



**TOO RUSTIC
TOO GRAINY**

STOREFRONTS

NOT SUBJECT TO REVIEW AND APPROVAL

Because of the importance of storefronts, all work done to them is subject to review and approval. However, some of the guidelines are more lenient than in an historic district. All other elements of building with storefronts are reviewed and approved in accordance with the appropriate guideline.

SUBJECT TO REVIEW AND APPROVAL

- **Alterations, restoration or reconstruction of storefronts**, on commercial buildings.

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are "Subject to Review and Approval." These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

1. Maintain the original proportions, dimensions and elements when restoring, renovating or reconstructing a storefront:
 - Retain or restore the glass transom panels, kickplates and entrances at their original locations and proportions.
 - Restore detail to the original, if evidence exists. Use simplified detail if original evidence does not exist.
2. If covered, consider uncovering the original lintel, support wall or piers to reestablish the storefront frame.
3. If original storefront is gone and no evidence exists, the new storefront may be of traditional or modern design and it may use traditional or modern materials. It should not detract from its building and its neighbors.

NOT RECOMMENDED

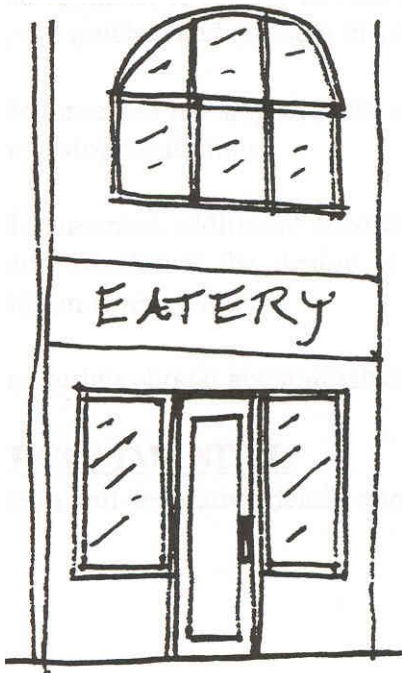
1. Using elements typically found in commercial shopping strips that do not relate to the historic elements in the area.
2. Setting new storefronts back from the sidewalk and disrupting the visual order of the block.
3. Creating new storefront that replicate non-documented "historic" facades or evoke styles that predate the building or that evoke other places.



EXISTING



APPROPRIATE



**INAPPROPRIATE
RECONSTRUCTION**

TRIM AND ORNAMENTATION

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to trim and ornamentation is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Addition, alteration or removal of trim and ornamentation**, on rear facade only.

SUBJECT TO REVIEW AND APPROVAL

- **Addition, alteration and removal of original trim and ornamentation**, from front and side facades
- **Alteration to decorative cornices**, anywhere on a building

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

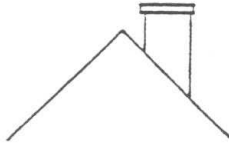
1. Repair the original cornice around all of the building or replace with a replication if seriously damaged/deteriorated.
2. Repair the original trim and decorative elements on the front and side facades or replace with a replication if seriously damaged or deteriorated.
3. Missing decorative details are best replicated from evidence of their original design (look for: old photographs, remnants left on the building, paint lines where parts were removed, nail holes, old notches and cut outs in siding and trim.)
4. Non-documented missing decorative details may be designed from observation of details on similar historic buildings.
5. Non-documented additional decorative details should be avoided, but may be added to front and side facades if the design is characteristic of the building’s architecture and if its installation is reversible
6. New materials should accomplish the same visual characteristics as the originals.

NOT RECOMMENDED

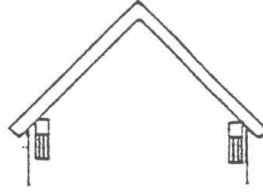
1. New trim and decorative details should not cover up original details.

ORIGINAL

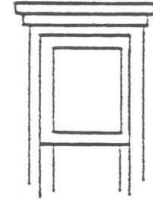
Chimneys



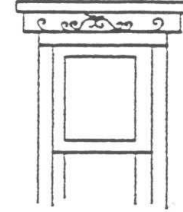
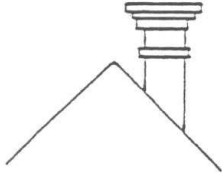
Gables



Windows



INAPPROPRIATE



WINDOWS AND WINDOW OPENINGS

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to windows and window openings is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Installation or replacement of storm and screen windows** anywhere on a building (when opening is not altered.)
- **Replacement of existing windows** on rear facades
- **Alteration or removal of existing windows** on rear facades.
- **Creation of new window openings** on rear facades only.

SUBJECT TO REVIEW AND APPROVAL

Front and Side Facades Only

Replacement of existing windows on front and side facades.

Alteration or removal of existing windows on front and side facades.

Creation of new window openings on front and side facades.

Alteration or addition of window trim, including shutters on front and side facades.

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED -- Front and Side Facades Only

1. If replacing original historic windows, replacements should be as close as possible to the size of the original opening and should be a style as similar as possible to the original. True divided lites are encouraged (if original windows had divided lites), but snap-on or glue-on muntins are not precluded.
2. If non-original windows are replaced, replacements should be compatible with the architectural design of the building without further altering the original opening.
3. It is encouraged for replacement windows to be the same material as original windows. However, other materials may be considered if they fit the opening properly and have similar appearance to the original.
4. If original window trim is replaced, it should match original as closely as possible.
5. If adding exterior window shutters, they should properly fit the window proportions.

NOT RECOMMENDED -- Front and Side Facades Only

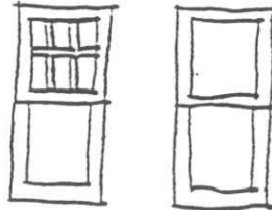
1. Replacement windows dissimilar to the original in size, dimensions, shape, design, pattern, and materials.

2. Creating new window openings or eliminating original window openings, especially on significant and highly visible elevations.

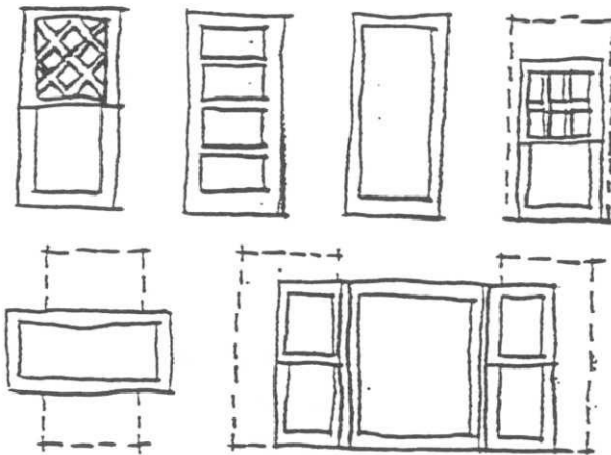
ORIGINAL



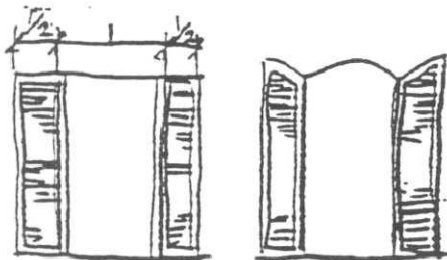
APPROPRIATE REPLACEMENTS



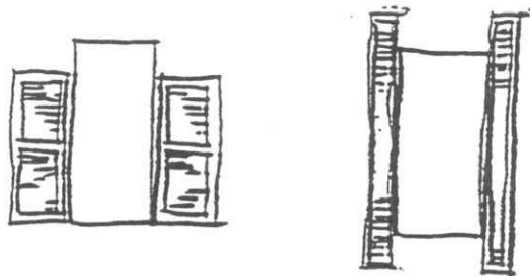
INAPPROPRIATE REPLACEMENTS



APPROPRIATE SHUTTERS



INAPPROPRIATE SHUTTERS



**TOO SHORT
TOO WIDE**

**TOO LONG
TOO THIN**

NEW CONSTRUCTION DESIGN STANDARDS

The purpose of these Standards is to present concepts, alternatives, and approaches that will produce design solutions that recognize the characteristics of the conservation area and bring harmony between new and existing buildings. The Standards include guidelines that are not meant to restrict creativity, but to set up a framework within which sympathetic design will occur. It should be noted that within an appropriate framework there can be many different design solutions which may be appropriate. While guidelines can create an acceptable framework they cannot ensure any particular result. Consequently people may hold a wide range of opinions about the resultant designs since those designs are largely a factor of the designer's ability.

CONTEXT FOR NEW CONSTRUCTION

Standards and guidelines serve as aids in designing new construction which reacts sensitively to the existing context in a manner generally believed to be appropriate. Therefore, the most important first step in designing new construction in any conservation district is to determine just what the context is to which the designer is expected to be sensitive.

Every site will possess a unique context. This will be comprised of the buildings immediately adjacent, the nearby area (often the surrounding block), a unique subarea within the district, and the district as a whole.

Generally, new construction will occur on sites which fall into the following categories. For each one described below, there is an indication of the context to which new construction must be primarily related.

1. **DEVELOPED SITE**. This is usually a site upon which there already exists an historic primary structure. New construction usually involves an addition to the buildings or the construction of an accessory building such as a garage.

Context. New construction must use the existing historic building as its most important, perhaps only, context.

2. **ISOLATED LOT**. This is usually a single vacant lot (sometimes two very small lots combined) which exists in a highly developed area with very few if any other vacant lots in view.

Context. The existing buildings immediately adjacent and in the same block, and the facing block provide a very strong context to which any new construction must primarily relate.

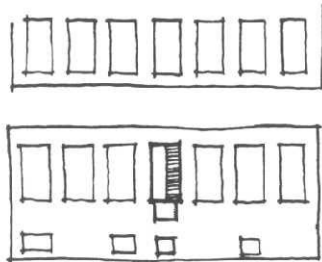
3. **LARGE SITE**. This is usually a combination of several vacant lots, often the result of previous demolition.

Context. Since this type of site was usually created as a result of relatively extensive demolition, its surrounding context has been weakened by its very existence. However, context is still of primary concern. In such case, a somewhat larger area than the immediate environment must also be looked to for context, especially if other vacant land exists in the immediate area.

4. **EXPANSIVE SITE.** This site may consist of a half block or more of vacant land or the site may be a smaller one surrounded by many other vacant sites. Often there is much vacant land surrounding the site.

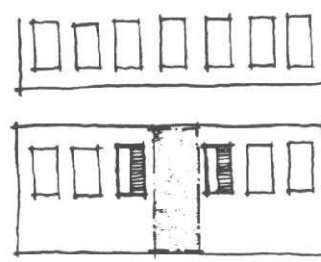
Context. The context of adjacent buildings is often very weak or non-existent. In this case, the surrounding area provides the primary context to the extent that it exists. Beyond that, the entire historic area is the available context for determining character. This type of site often offers the greatest design flexibility. Where the strength of the context varies at different points around a site, new design should be responsive to the varying degrees of contextual influence.

**DEVELOPED SITE
 ADDITION TO EXISTING BUILDING**



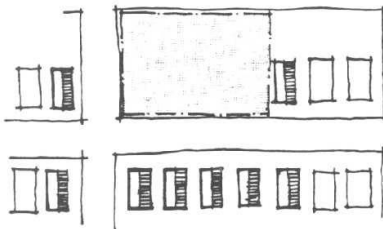
USE EXISTING BUILDING IN
 PRIMARY DESIGN OF ADDITION

**ISOLATED SITE
 NEW BUILDING ON SINGLE LOT**



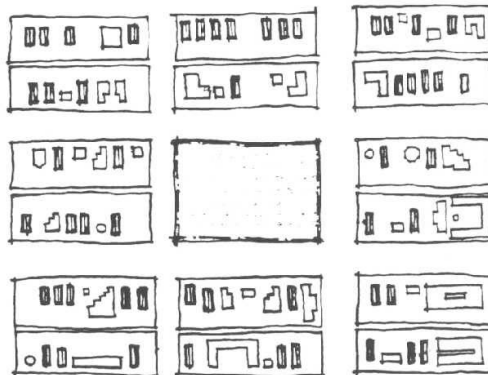
USE EXISTING BUILDINGS SURROUNDING
 THE SITE IN DETERMINING DESIGN OF
 NEW BUILDING

**LARGE SITE
 NEW BUILDING ON SEVERAL SITES**



USE EXISTING BUILDINGS
 SURROUNDING THE SITE IN
 DETERMINING DESIGN OF NEW
 BUILDING

**EXPANSIVE SITE
 NEW BUILDINGS ON LARGE SITE**



USE EXISTING BUILDINGS THROUGHOUT THE
 AREA IN DETERMINING DESIGN OF NEW BUILDING

PRIMARY STRUCTURES

NOT SUBJECT TO REVIEW AND APPROVAL

All construction of primary buildings is subject to review and approval by the IHPC.

SUBJECT TO REVIEW AND APPROVAL

- **Construction of any new primary building.**

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

1. MATERIALS

Definition: The visual, structural, and performance characteristics of the materials visible on a building exterior.

RECOMMENDED

1. Building materials, whether natural or man-made, should be visually compatible with surrounding historic buildings.
2. When vinyl, aluminum or hardboard siding is used to simulate wood clapboard siding, it should reflect the general directional and dimensional characteristics found historically in the neighborhood.

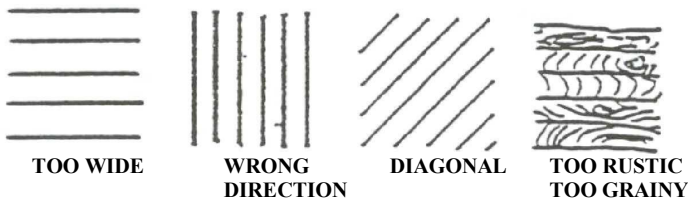
TYPICAL SIDING ON HISTORIC BUILDINGS



MAY BE APPROPRIATE ON NEW CONSTRUCTION



INAPPROPRIATE

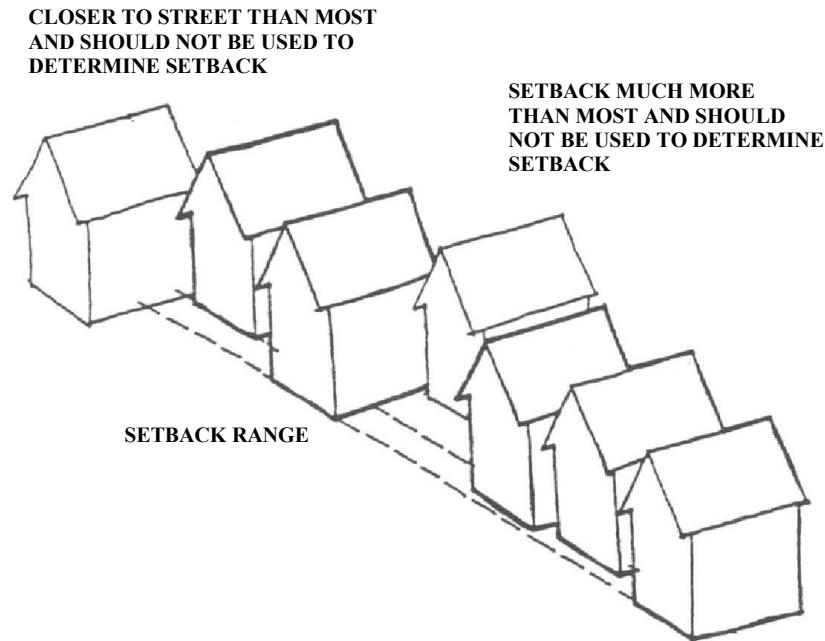


2. SETBACK

Definition: The distance a building is set back from a street, alley or property line.

RECOMMENDED

1. A new building's setback should relate to the setback pattern established by the existing block context. If the development standards for the particular zoning district do not allow appropriate setbacks, a variance may be needed.
2. On corner sites, the setbacks from both streets must reflect the context.



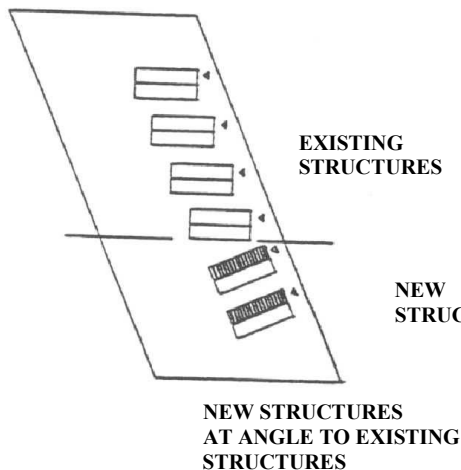
3. ORIENTATION

Definition: The direction that a building faces.

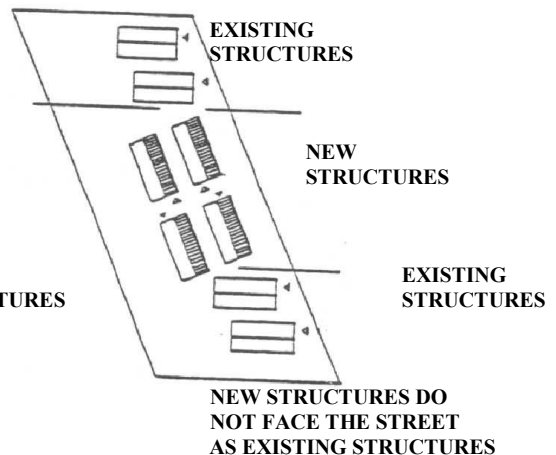
RECOMMENDED

1. New buildings oriented toward the street in a way that is characteristic of surrounding buildings.

INAPPROPRIATE



INAPPROPRIATE

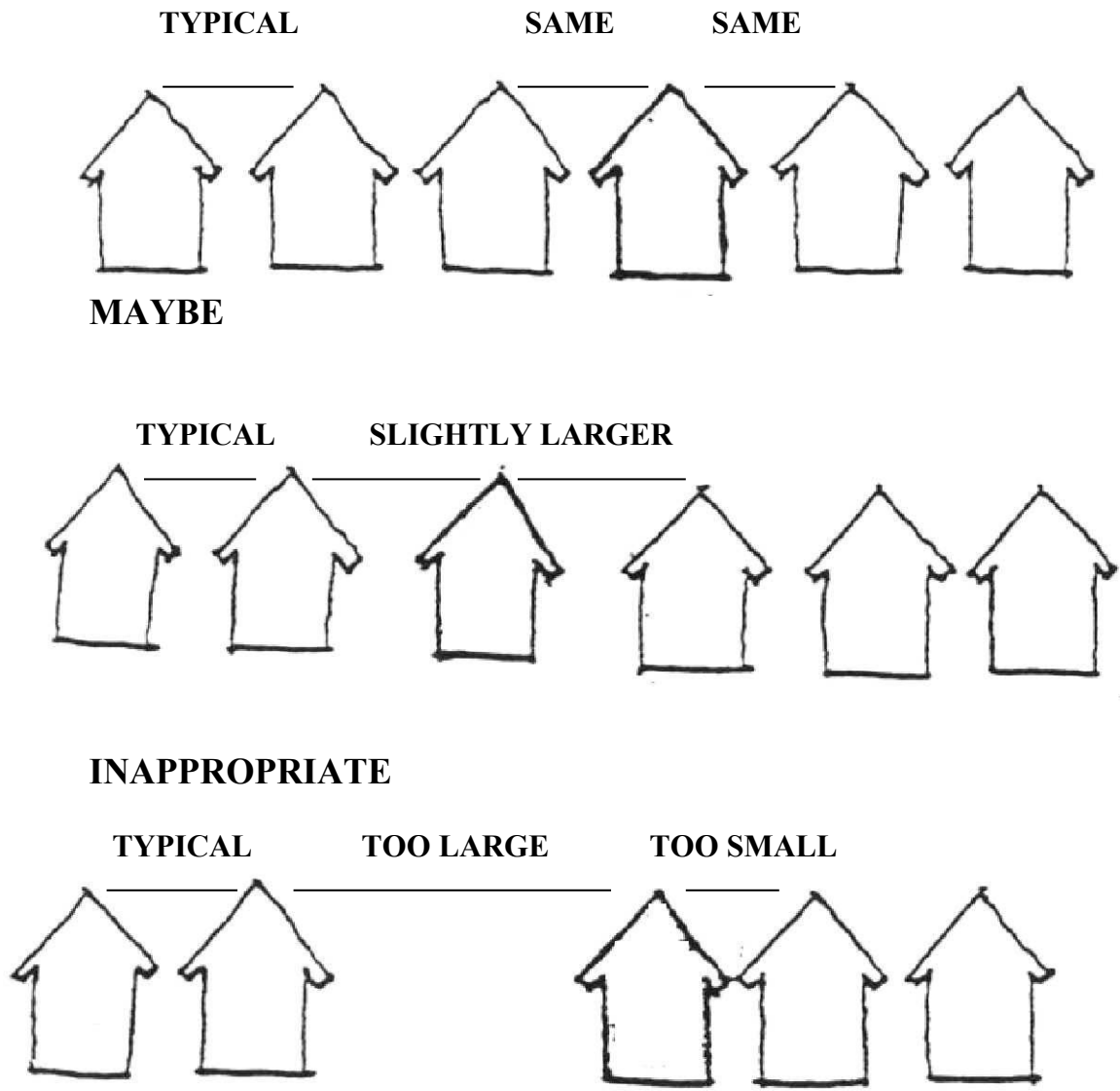


4. SPACING

Definition: The distance between contiguous buildings along a blockface.

RECOMMENDED

1. New construction that reflects and reinforces the spacing found in its block. New construction should maintain the perceived regularity or lack of regularity of spacing on the block.



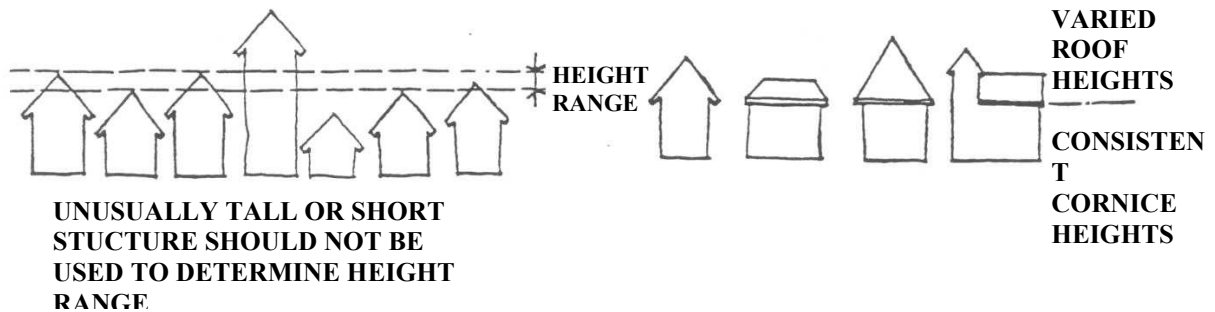
5. BUILDING HEIGHTS

Definition: The actual height of buildings and their various components as measured from the ground.

NOTE: In areas governed by this plan, building heights should be determined using these guidelines rather than those noted in the zoning ordinance.

RECOMMENDED

1. Generally, the height of a new building should fall within a range set by the highest and lowest contiguous buildings if the block has uniform heights. Uncharacteristically high or low buildings should not be considered when determining the appropriate range.
2. Cornice heights, porch heights and foundation heights of surrounding buildings should be considered when designing new construction.



6. BUILDING OUTLINE

Definition: The silhouette of a building as seen from the street.

RECOMMENDED

1. The basic outline of a new building, including general roof shape, should reflect building outlines typical of the area.
2. The outline of new construction should reflect the directional orientations characteristic of the existing buildings in its context.

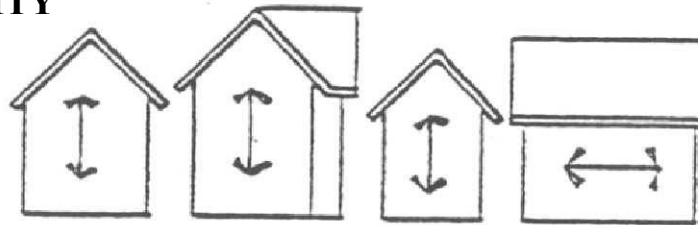
SHAPE



NEIGHBORHOOD CONTEXT

INAPPROPRIATE

DIRECTIONALITY



APPROPRIATE

ORIGINAL

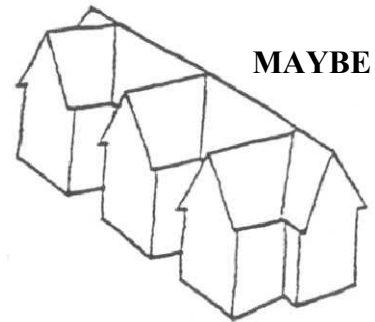
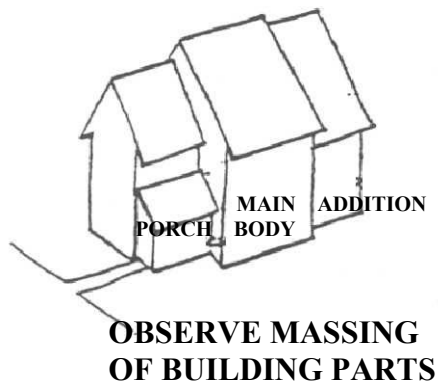
MAYBE

7. MASS

Definition: The three dimensional outline of a building.

RECOMMENDED

1. The total mass and site coverage of a new building should be compatible with surrounding buildings.
2. The massing of the various parts of a new building should be characteristic of surrounding buildings.



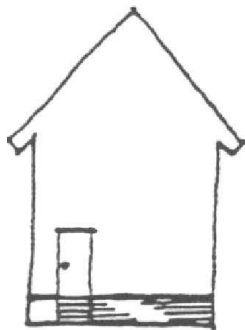
8. FOUNDATION

Definition: The support base upon which a building sits.

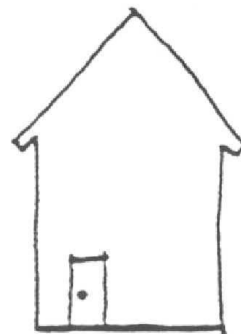
RECOMMENDED

1. New construction should reflect the prevailing sense of foundation height on contiguous buildings.

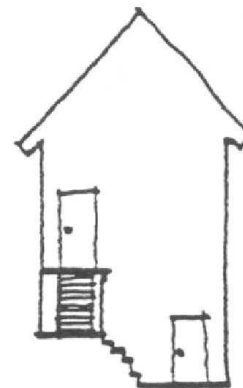
APPROPRIATE



INAPPROPRIATE



**DOOR AT
GRADE**



**DOOR TOO FAR
ABOVE & BELOW GRADE**

9. STYLE AND DESIGN

Definition: The creative and aesthetic expression of the designer.

RECOMMENDED

1. No specific styles are recommended. Creativity and original design are encouraged. A wide range of styles is theoretically possible and may include designs which vary in complexity from simple to decorated.
2. Surrounding buildings should be studied for their characteristic design elements. The relationship of those elements to the character of the area should then be assessed. Significant elements define compatibility. Look for characteristic ways in which buildings are roofed, entered, divided into stories and set on foundations. Look for character-defining elements such as chimneys, dormers, gables, overhanging eaves, and porches.

10. FENESTRATION

Definition: The arrangement, proportioning, and design of windows, doors and openings.

RECOMMENDED

1. Creative expression with fenestration is not precluded provided the result does not conflict with or draw attention from surrounding historic buildings.
2. Windows and doors should be arranged on the building so as not to conflict with the basic fenestration pattern in the area.
3. The basic proportions of glass to solid which is found on surrounding buildings should be reflected in new construction.
4. Window openings that reflect the basic proportionality and directionality of those typically found on surrounding historic buildings.

FENESTRATION



PROPORTION OF
GLASS TO SOLID
IS NOT COMPATIBLE



WINDOW PROPORTIONS
AND DIRECTION ARE NOT COMPATIBLE

CONTEXT



INAPPROPRIATE



11. BUILDING ENTRY

Definition: The actual and visually perceived approach and entrance to a building.

RECOMMENDED

1. Entrances may characteristically be formal or friendly, recessed or flush, grand or commonplace, narrow or wide. New buildings should reflect a similar sense of entry to that which is expressed by surrounding historic buildings.

12. UTILITIES & EQUIPMENT

Definition: Any utilities that might be above ground and visible (such as meters and electric lines) and any mechanical equipment associated with the building (such as air-conditioning equipment)

RECOMMENDED

1. Electric lines, cable TV, and other utility wires should be buried below ground when new construction occurs.
2. Mechanical equipment, such as permanent air conditioning equipment and meters should be placed in locations that have the least impact on the character of the structure and site.

ADDITIONS, GARAGES AND ACCESSORY BUILDINGS

NOT SUBJECT TO REVIEW AND APPROVAL

- **Construction or installation of small storage accessory buildings⁹** in back yards.
- **Construction of 1-car and 2-car detached garages¹⁰** behind houses.

SUBJECT TO REVIEW AND APPROVAL

- **Construction of any new enclosed addition, including an attached garage** to any building.
- **Construction or installation of any small accessory building** in front yards or in vacant lots.
- **Construction of large accessory buildings¹¹** (other than one and two car garages described above) located anywhere.

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

1. Accessory buildings should be located behind the existing historic building unless there is an historic precedent otherwise.
2. Detached garages should be located similarly to those in the surrounding area.
3. Attached garages should not face the main street unless that is typical of the area’s historic character. Otherwise, attached garages should be designed to not be obvious from the front of the property.
4. Garages or other large accessory buildings should be of a scale, height, size, and mass that relates to the existing primary building and does not overpower it.
5. Additions to historic buildings should not obscure or overpower the basic form and style of the building as perceived from the street.
6. Additions to non-contributing buildings should be compatible in design with the original building and with surrounding historic buildings.

⁹ “Small storage accessory buildings” are less than 144 sq. ft. in floor area.

¹⁰ Garages in this category may be 1 ½ story with a storage loft above.

¹¹ “Large accessory buildings” are greater than 144 sq. ft. in floor area and includes any 2-story garage and any garage with living space above.

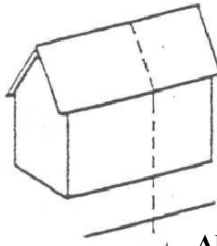
NEW AUGUSTA CONSERVATION DISTRICT
NEW CONSTRUCTION DESIGN STANDARDS

INAPPROPRIATE

APPROPRIATE

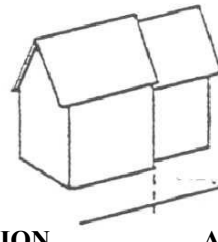


**ORIGINAL
STRUCTURE**



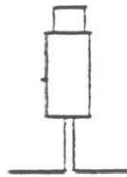
ADDITION

**ADDITION NOT
DISTINGUISABLE
FROM ORIGINAL
STRUCTURE**

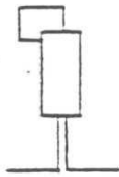


ADDITION

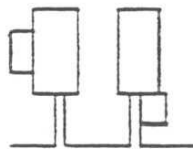
**ADDITION LOOKS
ADDED TO ORIGINAL
STRUCTURE**



APPROPRIATE



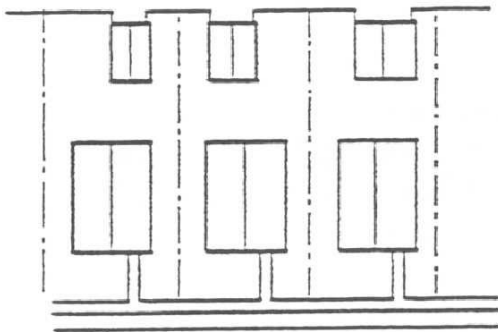
MAYBE



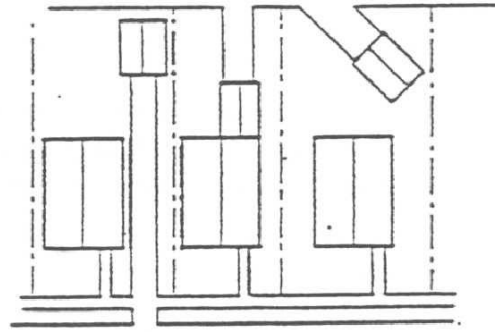
INAPPROPRIATE



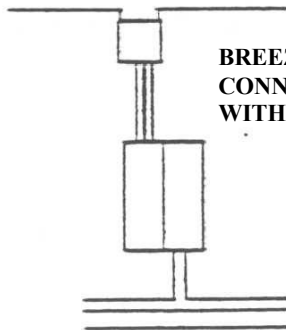
**STEPPED BACK
NEW CONSTRUCTION**



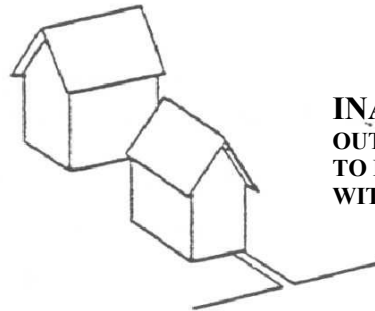
APPROPRIATE



INAPPROPRIATE



**BREEZEWAY
CONNECTING HOUSE
WITH GARAGE**



**INAPPROPRIATE
OUT BUILDINGS
TO BE IN SCALE
WITH HOUSE**

SITE DEVELOPMENT AND LANDSCAPE STANDARDS

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to site development and landscape is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Installation and removal of all plant materials**
- **Small yard decorations** anywhere.
- **Patios, decks, play equipment, dog houses/runs, swimming pools** in backyards.
- **Backyard fencing**, behind the front facade of a building.
- **Parking surfaces behind buildings**¹²

SUBJECT TO REVIEW AND APPROVAL

- **Patios, decks, play equipment, dog houses/runs, swimming pools** in front yards and vacant lots.
- **Front yard fencing** in front of the front facade of a building.
- **Fencing around a vacant lot**
- **Parking surfaces in front of buildings and on vacant lots**

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

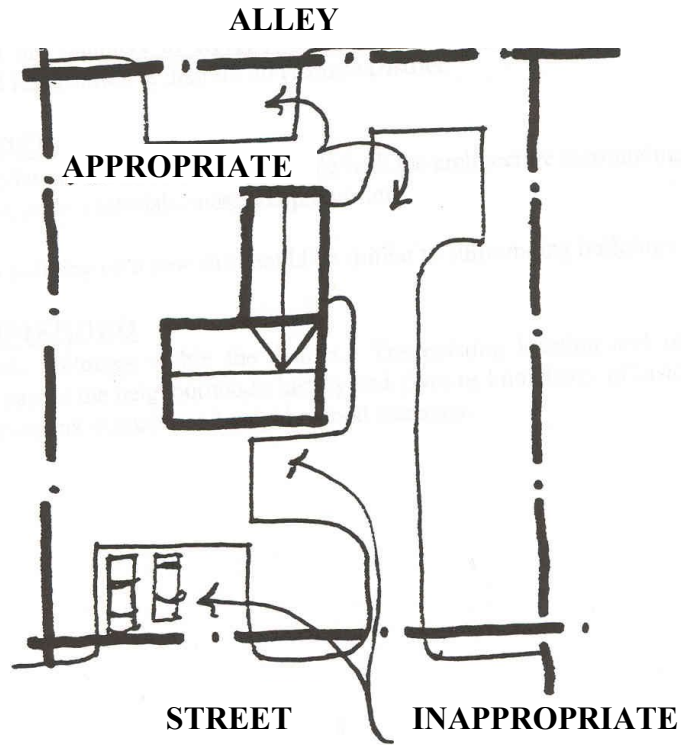
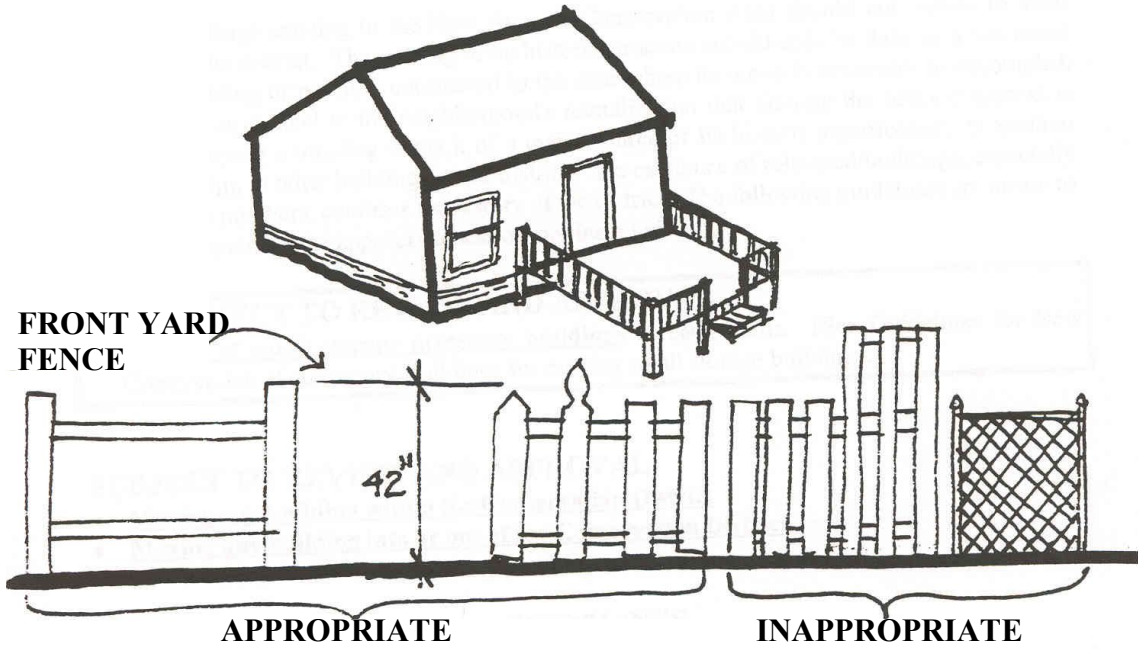
1. Front yard fencing should be compatible with the historic character of the area. Generally, front yard fences should not be higher than 42” and should be an open, picket style. Chain link is usually not appropriate in front yards.

NOT RECOMMENDED

1. Significant changes in the topography of front yards and vacant lots by excessive grading or addition of slopes and berms.
2. Placement of patios, decks, play equipment, dog houses/runs, swimming pools or other large features in front yards.

¹² Although zoning requirements still apply

NEW AUGUSTA CONSERVATION DISTRICT
SITE DEVELOPMENT AND LANDSCAPE STANDARDS



STANDARDS FOR MOVING BUILDINGS

Historic buildings existing in the New Augusta Conservation Area should not be moved to other locations in the district. The moving of an historic structure should only be done as a last resort to save a building or possibly considered in the case where its move is necessary to accomplish development so critical to the neighborhood's revitalization that altering the historic context is justified. Moving a building strips it of a major source of its historic significance; its location and relationship to other buildings in the district. The existence of relocated buildings, especially in significant numbers, confuses the history of the district. The following guidelines are meant to assist in determining the appropriateness of moving a building.

NOT SUBJECT TO REVIEW AND APPROVAL

- **Moving of small storage accessory buildings** in back yards. (See Guidelines for New Construction of Accessory Buildings for moving small storage buildings.)

SUBJECT TO REVIEW AND APPROVAL

- **Moving any building within the Conservation District**
- **Moving any building into or out of the Conservation District**

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are "Subject to Review and Approval." These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

1. The building to be moved should be compatible with the architecture surrounding its new site relative to style, scale, materials, mass and proportions.
2. The siting of a building on a new site should be similar to surrounding buildings.

NOT RECOMMENDED

1. Moving historic buildings within the district. The existing location and relationship of buildings is a part of the neighborhood's history and gives us knowledge of historic lifestyles, development patterns, attitudes and neighborhood character.

SIGN STANDARDS

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to signs and signage is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Incidental signs** (i.e. “Open,” “Sale,” “Parking Full,” etc.).
- **Changes to existing signs** that do not need sign permits.
- **Home Occupation signs** (must meet zoning ordinance).
- **Wording, color, lighting and graphics** on signs.
- **Real Estate, construction, special event and other temporary signs**

SUBJECT TO REVIEW AND APPROVAL -- location, size, shape only

- **Business signs that need a sign permit** (as defined in the zoning ordinance)
- **Advertising signs** (as defined in the zoning ordinance)
- **Signs painted on buildings**
- **Freestanding pole and ground signs**
- **Any signs that need a zoning variance**

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

1. The location, size, scale, and shape of signs on commercial buildings should be compatible with the building and the surrounding area.
2. Home occupation signs should conform with the zoning ordinance. Variances for such signs (size and location) should only be considered for houses adjacent to W. 71st St.
3. Fabrication should be done with quality materials and craftsmanship.
4. Awning and canopy signs should not dominate the awning or canopy.

NOT RECOMMENDED

1. Freestanding ground-mounted or pole signs in residential areas. Such signs may be allowed to identify an historic resource open to the public, if pedestrian-oriented and simple in design.
2. Billboards, roof signs, and box signs (constructed as independent box-like structures) should not dominate the character and architecture of a building.
3. A projecting sign, unless it is pedestrian oriented and its location, size, style, method of attachment, and material is compatible with the building to which it is attached.

PARKING LOT STANDARDS

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to parking lots is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Resurfacing an existing parking lot** (with any material).
- **Curb and/or edging materials**

SUBJECT TO REVIEW AND APPROVAL

- **Creation of new parking lots**
- **Expansion of existing parking lots**
- **Fencing on front half of parking lots** if they are on a street.

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

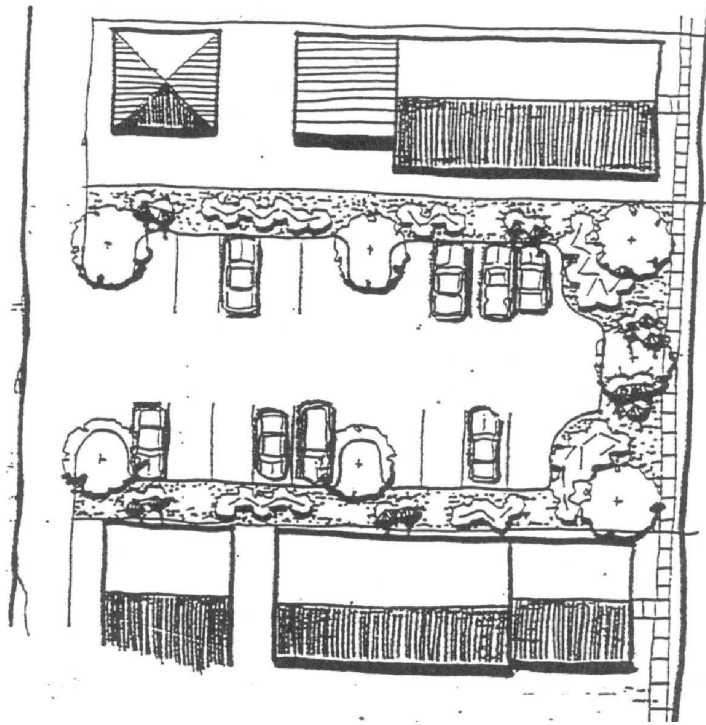
RECOMMENDED

1. Physical and visual barriers between parking areas and a public sidewalk, street, alley, and/or residential area.
2. Lights installed adjacent to residential properties should be low and shielded.
3. Deciduous shade trees should be planted on the interior of the lot as well as on the edges.
4. A ten-foot buffer with 100% of the linear distance screened between a parking area, a primary street, residential uses, and sidewalks, using trees and/or an architectural screen wall or fence and/or a plant material screen
5. Replacement during the next planting season of any plantings that are required in a Certificate of Appropriateness and that have died or have been removed.

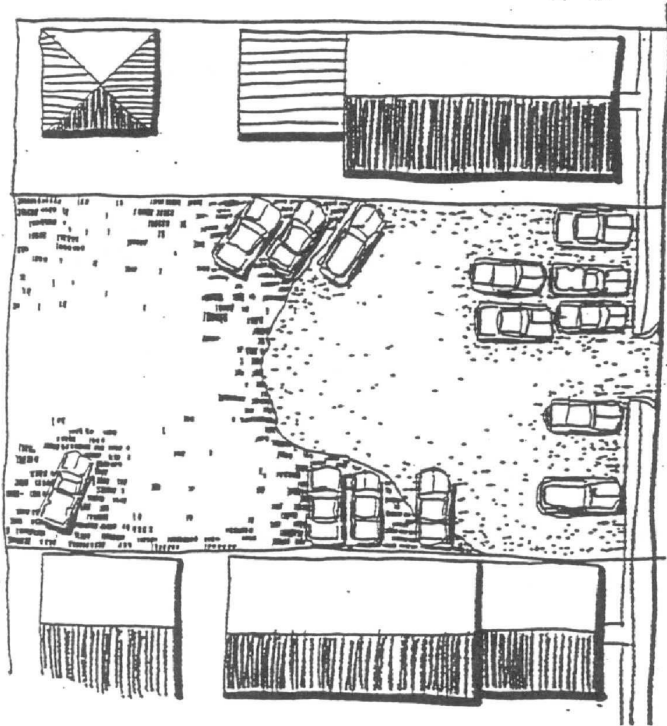
NOT RECOMMENDED

1. New curb cuts whenever existing curb cuts or alley access is available.
2. Residential or suburban fencing styles, including chain link, for installation around a parking lot.

APPROPRIATE



INAPPROPRIATE



PUBLIC INFRASTRUCTURE STANDARDS

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to public infrastructure is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Repaving of streets in the same manner and with the same material as existing**
- **Installation of signs or other fixtures by public agencies to promote traffic and pedestrian safety**
- **Replacement of existing light poles and fixtures with new ones to match**
- **Installation of new sidewalks and curbs to replace existing, if of the same width, pattern, and material**

SUBJECT TO REVIEW AND APPROVAL

- **Change in the material, pattern or color of street paving, sidewalks, and curbs**
- **Alterations to the width or location of streets and sidewalks**
- **Installation of new light fixtures in the public right-of-way**
- **Freestanding pole and ground signs**

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These guidelines may be less comprehensive and less restrictive than for an Historic District.

RECOMMENDED

1. Stone curbs should be retained and preserved whenever possible.
2. Brick street gutters should be retained and preserved.
3. New public street lights should be compatible with the history of the neighborhood.

NOT RECOMMENDED

1. Widening streets when there is a negative impact on the character of the neighborhood and adjacent buildings.

DEMOLITION GUIDELINES

NOT SUBJECT TO REVIEW AND APPROVAL

Anything related to demolition is exempt, except as noted in “Subject to Review and Approval.” Examples of exemptions include:

- **Demolition of buildings noted on map on page 10 as “non-contributing”**
- **Demolition of one-story garages**, whether contributing or not.

SUBJECT TO REVIEW AND APPROVAL

- **Demolition of primary structures** (noted as “Contributing” on map on page 10).
- **Demolition or removal of additions to primary structures** (noted as “Contributing” on map on page 10).
- **Partial demolition of primary structures** (noted as “Contributing” on map on page 10).
- **Demolition of accessory buildings** (noted as “Contributing” on map on page 10).

GUIDELINES

The following guidelines relate to the above actions. They are enforceable by the IHPC for the above actions that are “Subject to Review and Approval.” These are the same guidelines as those for historic districts.

INTRODUCTION

This section explains the type of work considered in this plan to be demolition as well as the criteria to be used when reviewing applications for Certificates of Appropriateness that include demolition. Before receiving any permits or undertaking any work that constitutes demolition, a Certificate of Appropriateness or Authorization from the Indianapolis Historic Preservation Commission must be issued.

DEMOLITION DEFINITION

For the purpose of this plan, demolition shall be defined as the razing, wrecking or removal by any means of the entire or partial exterior of a structure. The following examples are meant to help define demolition and are not all-inclusive.

1. The razing, wrecking or removal of a total structure.
2. The razing wrecking or removal of a part of a structure, resulting in a reduction in its mass, height or volume.
3. The razing, wrecking or removal of an enclosed or open addition.

Some work that may otherwise be considered demolition may be considered rehabilitation, if done in conjunction with an IHPC Certificate of Appropriateness for rehabilitation. Examples include:

NEW AUGUSTA CONSERVATION DISTRICT
DEMOLITION STANDARDS

1. The removal or destruction of exterior siding and face material, exterior surface trim, and portions or exterior walls.
2. The removal or destruction of those elements which provide enclosure at openings in any exterior wall (e.g., window units, doors, panels.)
3. The removal or destruction of architectural, decorative or structural features and elements which are attached to the exterior of a structure (e.g., parapets, cornices, brackets, chimneys).

Examples of work not included in demolition:

1. Any work on the interior of a structure.
2. The removal of exterior utility and mechanical equipment
3. The removal, when not structurally integrated with the main structure, of awnings, gutters, downspouts, light fixtures, open fire escapes and other attachments.
4. The removal of signs.
5. The removal of paint.
6. The removal of site improvement features such as fencing, sidewalks, streets, driveways, curbs, alleys, landscaping and asphalt.
7. The replacement of clear glass with no historic markings.

NOTE: Items 2,3,4,5 and 6 may be considered rehabilitation and may require a Certificate of Appropriateness under other guidelines in this plan.

CRITERIA FOR DEMOLITION

The IHPC shall approve a Certificate of Appropriateness or Authorization for demolition as defined in this chapter only if it finds one or more of the following:

1. The structure poses an immediate and substantial threat to the public safety.
2. The historic or architectural significance of the structure or part thereof is such that, in the Commission's opinion, it does not contribute to the historic character of the structure and the district, or the context thereof.
3. The demolition is necessary to allow new development which, in the Commission's opinion, is of greater significance to the preservation of the district than is retention of the structure, or portion thereof, for which demolition is sought.
4. The structure or property cannot be put to any reasonable economically beneficial use for which it is or may be reasonably adapted without approval of demolition.

The IHPC may ask interested individuals or organizations for assistance in seeking an alternative to demolition.

When considering a proposal for demolition, the IHPC shall consider the following criteria for demolition as guidelines for determining appropriate action:

Condition

Demolition of an historic building may be justified by condition, but only when the damage or deterioration to the structural system is so extensive that the building presents an immediate and substantial threat to the safety of the public. In certain instances demolition of selective parts of the building may be authorized after proper evaluation by the Indianapolis Historic Preservation Commission.

Significance

The Commission has the responsibility of determining the significance of a structure and whether it contributes to the district. It shall consider the architectural and historical significance of the structure individually, in relation to the street, and as a part of the district as a whole. These same considerations will be given to parts of the building. The Commission will also consider how the loss of a building or a portion thereof, will affect the character of the district, the neighboring buildings, and in the case of partial demolition, the building itself. Buildings that are noted in the plan as non-contributing or potentially contributing shall be researched to confirm that there is no obscured architectural or historical significance.

In making its determination of significance, the Commission shall consider the following:

1. Architectural and historic information included in this plan.
2. Information contained in the district's National Register nomination.
3. Information contained in any other professionally conducted historic surveys pertaining to this district.
4. The opinion of its professional staff.
5. Evidence presented by the applicant
6. Evidence presented by recognized experts in architectural history.

Replacement

Demolition of a structure may be justified when, in the opinion of the Commission, the proposed new development with which it will be replaced is of greater significance to the preservation of the district than retention of the existing structure. This will only be the case when the structure to be demolished is not of material significance, the loss of the structure will have minimal effect on the historic character of the district, and the new development will be compatible, appropriate and beneficial to the district.

NEW AUGUSTA CONSERVATION DISTRICT
DEMOLITION STANDARDS

To afford the Commission the ability to consider demolition on the basis of replacement development, the applicant shall submit the following information as required by the Commission or its staff.

1. Elevations and floor plans.
2. A scaled streetscape drawing showing the new development in its context (usually including at least two buildings on either side.)
3. A site plan showing the new development and structure(s) to be demolished.
4. A written description of the new development.
5. A time schedule for construction and evidence that the new construction will occur.
6. Any other information which would assist the Commission in determining the appropriateness of the new development and its value relative to the existing structure(s).

Economics

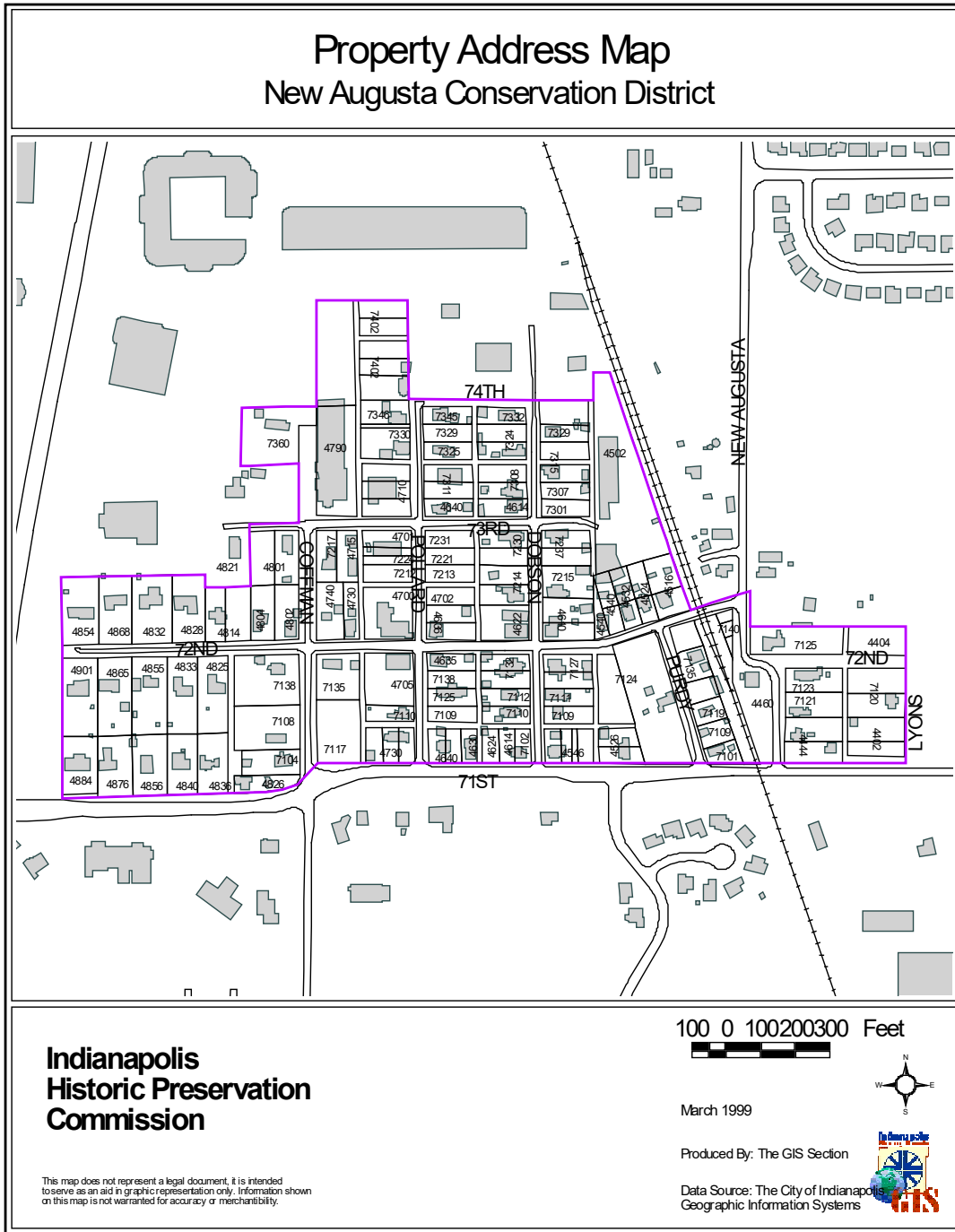
If requested by the applicant, the Commission shall consider whether the structure or property can be put to any reasonable economically beneficial use for which it is or may be adapted including (for income producing property) whether the applicant can obtain a reasonable economic return from the existing property without the demolition. The owner has the responsibility of presenting clear and convincing evidence to the Commission. The Commission may prepare its own evaluation of the property's value, feasibility for preservation, or other factors pertinent to the case.

To afford the Commission the ability to consider the economic factors of demolition, the applicant shall submit the following information when required by the Commission:

1. Estimate of the cost of the proposed demolition and an estimate of any additional costs that would be incurred to comply with recommendations of the Commission for changes necessary for the issue of a Certificate of Appropriateness.
2. A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the structure and its suitability for rehabilitation.
3. Estimated market value of the property both in its current condition, and after completion of the proposed demolition to be presented through an appraisal by a qualified professional appraiser.
4. An estimate from an architect, developer, real estate consultant, appraiser, or other real estate professional experienced in rehabilitation as to the economic feasibility of rehabilitation or reuse of the existing structure.
5. For property acquired within twelve years of the date an application for a Certificate of Appropriateness is filed:

- amount paid for the property,
 - the date of acquisition,
 - the party from whom acquired, including a description of the relationship, if any, between the owner of record or applicant and the person from whom the property was acquired, and
 - any terms of financing between the seller and buyer.
6. If property is income-producing, the annual gross income from the property for the previous two years; and depreciation deduction and annual cash flow before and after debt service, if any, during the same period.
 7. Remaining balance on any mortgage or other financing secured by the property and annual debt service, if any, for the previous two years.
 8. All appraisals obtained within the previous two years by the owner or applicant in connection with the purchase, financing or ownership of the property.
 9. Any listing of the property for sale or rent, price asked and offers received, in any, within the previous two years. .
 10. Copy of the most recent real estate tax bill.
 11. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit corporation, limited partnership, joint venture, or other method.
 12. Any other information which would assist the Commission in making a determination as to whether the property does yield a reasonable return to the owners, e.g. proforma financial analysis.

BUILDING INVENTORY



NEW AUGUSTA ADDRESSES

NEW AUGUSTA CONSERVATION DISTRICT

4402 W. 71st Street



4444 W. 71st Street



4526 W. 71st Street



4546 W. 71st Street



4630 W. 71st Street



4640 W. 71st Street



4730 W. 71st Street



4806 W. 71st Street



NEW AUGUSTA CONSERVATION DISTRICT

4826 W. 71st Street



4836 W. 71st Street



4840 W. 71st Street



4856 W. 71st Street



4876 W. 71st Street



4884 W. 71st Street



4516 W. 72nd Street



4524 W. 72nd Street



NEW AUGUSTA CONSERVATION DISTRICT

4532 W. 72nd Street



4540 W. 72nd Street



4610 W. 72nd Street



4622 W. 72nd Street



4635 W. 72nd Street



4636 W. 72nd Street



NEW AUGUSTA CONSERVATION DISTRICT

4700 W. 72nd Street



4705 W. 72nd Street



4730 W. 72nd Street



4740 W. 72nd Street



4802 W. 72nd Street



4804 W. 72nd Street



4814 W. 72nd Street



4825 W. 72nd Street



NEW AUGUSTA CONSERVATION DISTRICT

4828 W. 72nd Street



4832 W. 72nd Street



4833 W. 72nd Street



4855 W. 72nd Street



4865 W. 72nd Street



4868 W. 72nd Street



4854 W. 72nd Street



4901 W. 72nd Street



4502 W. 73rd Street



4510 W. 73rd Street



4614 W. 73rd Street



4640 W. 73rd Street



4701 W. 73rd Street



4710 W. 73rd Street



4790 W. 73rd Street



4801 W. 73rd Street



7104 Coffman Road



7108 Coffman Road



7135 Coffman Road



7138 Coffman Road



7217 Coffman Road



7360 Coffman Road



7102 Dobson Street



7109 Dobson Street



7110 Dobson Street



7111 Dobson Street



7112 Dobson Street



7127 Dobson Street



7132 Dobson Street; aka 4615 W. 72nd Street



7214 Dobson Street



7215 Dobson Street



7230 Dobson Street



7237 Dobson Street



7308 Dobson Street



7315 Dobson Street



7324 Dobson Street



7329 Dobson Street



7332 Dobson Street



7120 Lyons Avenue



4460 New Augusta Road



**7121 New Augusta Road;
aka 7121 Change St.**



7123 New Augusta Road



7125 New Augusta Road



7110 Pollard Street



7125 Pollard Street



7311 Pollard Street



7325 Pollard Street



7330 Pollard Street



7345 Pollard Street



7346 Pollard Street



7402 Pollard Street



7101 Purdy Street



7109 Purdy Street



7119 Purdy Street



NEW AUGUSTA CONSERVATION DISTRICT

7124 Purdy Street



7135 Purdy Street



7135 Purdy Street

